



«Owner_Name_1»
«Address»
«City», «State» «Zipcode»
100.803300.549110

NOTICE OF VARIANCE REQUEST

October 28, 2022

The purpose of this letter is to inform you of a request for a variance from the City of Fort Collins Land Use Code.

As part of the procedure for a person requesting a variance of the Land Use Code, that is reviewed and approved by the Community Development and Neighborhood Services (CDNS) Director, nearby residents and property owners are notified two weeks prior to a decision. The CDNS Director has been established to hear certain cases, where: (1) by reason of exceptional situations or circumstances, the strict application of the regulation would result in peculiar and practical difficulties or exceptional undue hardship upon the owner of such property; (2) the proposal will promote the general purpose of the standard for which the variance is requested equally well or better than would a proposal which complies with the standard for which the variance is requested; or (3) the proposal will not diverge from the standards of the Land Use Code except in nominal, inconsequential way when considered in the context of the neighborhood, provided that the granting of a variance would not result in a substantial detriment to the public good.

As an adjacent property owner, your input would be appropriate in the consideration of this variance request.

Those interested in providing feedback or have questions of the variance request may contact City staff member Noah Beals at nbeals@fcgov.com.

The Application for the Variance Request will be available for viewing at: <http://www.fcgov.com/cityclerk/zoning-appeals.php>.

If you are disabled and need assistance to participate, please call (970) 221-6760.

If you have any questions, feel free to contact the following.

Noah Beals
Senior City Planner-Zoning
970-416-2313

NOTICE OF VARIANCE REQUEST

This type of variance request is reviewed and approved by the Community Development and Neighborhood Services Director. There will not be a public hearing.

REQUEST INFORMATION

Appeal: ZBA220030

Address: 1025 Sailors Reef

Owner/Petitioner: Elaine & Dennis Edwards

Zoning District: R-L

Code Section: 4.4(D)(2)(c)

PROPOSAL DESCRIPTION:

This is a request to encroach 1 foot into the 12-foot rear setback.



Application Request for Variance from the Land Use Code

The Land Use Review Commission has been granted the authority to approve variances from the requirements of Articles 3 and 4 of the Land Use Code. The Land Use Review Commission shall not authorize any use in a zoning district other than those uses which are specifically permitted in the zoning district. The Commission may grant variances where it finds that the modification of the standard **would not be detrimental to the public good**. Additionally, the variance request must meet at least one of the following justification reasons:

- (1) by reason of exceptional physical conditions or other extraordinary and exceptional situations unique to the property, including, but not limited to physical conditions such as exceptional narrowness, shallowness, or topography, the strict application of the code requirements would result in unusual and exceptional practical difficulties or undue hardship upon the occupant/applicant of the property, provided that such difficulties or **hardship** are not caused by an act or omission of the occupant/applicant (i.e. not self-imposed);
- (2) the proposal will promote the general purpose of the standard for which the variance is requested **equally well or better than** would a proposal which complies with the standard for which the variance is requested;
- (3) the proposal will not diverge from the Land Use Code standards except in a **nominal, inconsequential way** when considered in the context of the neighborhood.

This application is only for a variance to the Land Use Code. Building Code requirements will be determined and reviewed by the Building Department separately. When a building or sign permit is required for any work for which a variance has been granted, the permit must be obtained within 6 months of the date that the variance was granted.

However, for good cause shown by the applicant, the Land Use Review Commission may consider a one-time 6 month extension if reasonable and necessary under the facts and circumstances of the case. An extension request must be submitted before 6 months from the date that the variance was granted has lapsed.

Petitioner or Petitioner's Representative must be present at the meeting

Location: VIRTUAL ONLY via Zoom

(instructions will be emailed to the applicant the Friday or Monday prior to the hearing)

Date: Second Thursday of the month **Time:** 8:30 a.m.

Variance Address	1025 Sailors Reef	Petitioner's Name, if not the Owner	
City	Fort Collins, CO	Petitioner's Relationship to the Owner is	
Zip Code	80525	Petitioner's Address	
Owner's Name	Elaine & Dennis Edwards	Petitioner's Phone #	970-305-6571
Code Section(s)	3.8.19 Setback Regulations	Petitioner's Email	dwardsem@gmail.com
Zoning District	RL	Additional Representative's Name	
Justification(s)	3. Nominal and inconsequential <input type="checkbox"/>	Representative's Address	
Justification(s)	Additional Justification	Representative's Phone #	
Justification(s)	Additional Justification	Representative's Email	
Reasoning	WRITTEN STATEMENT EXPLAINING THE REASON FOR THE VARIANCE REQUEST REQUIRED VIA SEPARATE DOCUMENT.		

Date

Signature Elaine Edwards Dennis Edwards

Elaine and Dennis Edwards (the applicants) would like to build a second floor addition over the existing master bedroom of their house at 1025 Sailors Reef, Fort Collins, CO 80525. The second floor addition would add approximately 460 square feet of living space as well as a walk-out second floor deck. The second floor addition and walk-out deck would allow a view, over the Warren Lake berm and make Warren Lake visible. Also, the deck would provide views of the Front Range mountains to include unobstructed views of Longs Peak and Mount Meeker.

The second floor addition and walk-out deck is designed to be totally within the existing footprint of the house. The architect, Sean Tomlinson of Tomlinson Designs Incorporated, was aware of an unapproved building permit application that the applicants submitted in June of 2021. This application for an addition and walk-out deck is the response to the unapproved building permit

This recent photo shows the view, looking southwest, from ground level at the site of the proposed addition and walk-out deck. From the photos, one can see from ground level, a viewer sees only the side of the berm that forms the north shore of Warren Lake. Also from the photos, one sees that trees that appear on the Landscape Plan from 2002 (attached) have been removed. All of the cottonwood and birch trees between the homes (1001 - 1049 Sailors Reef) and the Warren Lake berm were removed in year 2014.



This recent photo shows the view looking southwest, from the deck located at 1029 Sailors Reef, approximately 35-feet to the east, of the applicants' proposed second floor

addition. This photo shows that a second floor addition and walk-out deck would have an unobstructed view of Warren Lake and the Front Range mountains.

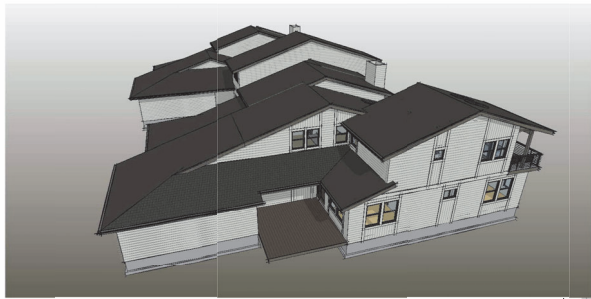


The Jamestown HOA has approved the second floor addition and walk-out deck. The Jamestown HOA Architecture Control Committee (ACC) was extremely impressed with the Tomlinson design of the addition and walk-out deck. The ACC's opinion was that the Tomlinson design was well thought out, professionally planned and fits the existing flow of the roofline in the Jamestown HOA. *"The proposal will not diverge from the Land Use Code standards except in a nominal, inconsequential way when considered in the context of the neighborhood."*

As required for HOA approval, neighbors on either side of the applicants' property have been contacted and have no objections to the construction of the second floor addition and walk-out deck.

Door Schedule							
Symbol	Door Information			Finish		Comments	
	Width	Height	Thickness	Material	Door		Frame
(E) Upper Level							
204	2'-6"	6'-5"	0" - 1 3/8"	MATCH (E)	MATCH (E)	MATCH (E)	
205	2'-6"	6'-5"	0" - 1 3/8"	MATCH (E)	MATCH (E)	MATCH (E)	
206	2'-6"	6'-5"	0" - 1 3/8"	MATCH (E)	MATCH (E)	MATCH (E)	
207	12'-0"	6'-5"	0" - 1 3/4"	MATCH (E)	MATCH (E)		EXTERIOR DOUBLE SLIDER
Total: 4							

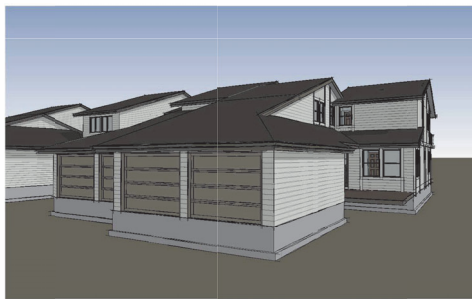
Window Schedule							
Symbol	Count	Window Dimensions		Description	Material	Head Height	Comments
		Width	Height				
H1	2	2'-5"	4'-0"	2840 Double Hung	MATCH (E)	T - 2'	
H2	1	2'-5"	4'-0"	2840 Double Hung (noise shield)	MATCH (E)	T - 2'	REUSE (E) WINDOW REMOVED IN DEMO
M	1	2'-0"	2'-0"	2020 Awning	MATCH (E)	T - 2'	
SK1	2	1'-9"	4'-6"	21" x 54" Skylight	MATCH (E)		
Total: 6							



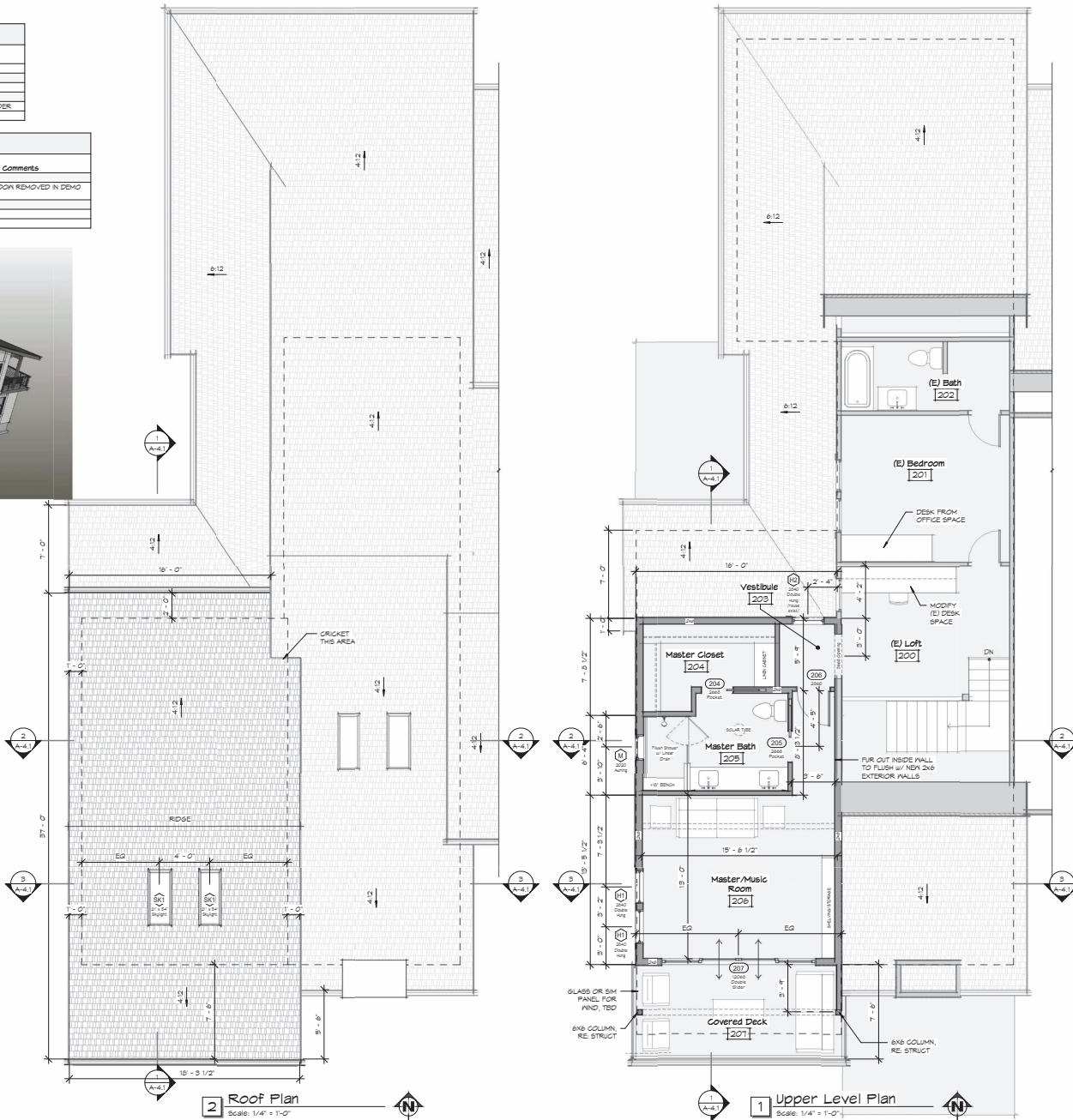
5 Nest Perspective
Scale:



4 Rear Perspective
Scale:



3 Front Perspective
Scale:



2 Roof Plan
Scale: 1/4" = 1'-0"

1 Upper Level Plan
Scale: 1/4" = 1'-0"

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PROJECT: 2119
DRAWN BY: ST
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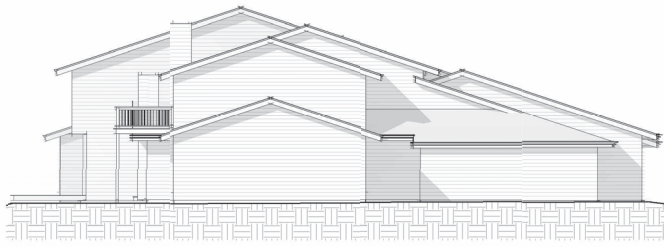
Edwards
Residence

1025 Sailors Reef
Fort Collins, CO 80525

Floor Plan, Roof
Plan, &
Perspective

A-2.1

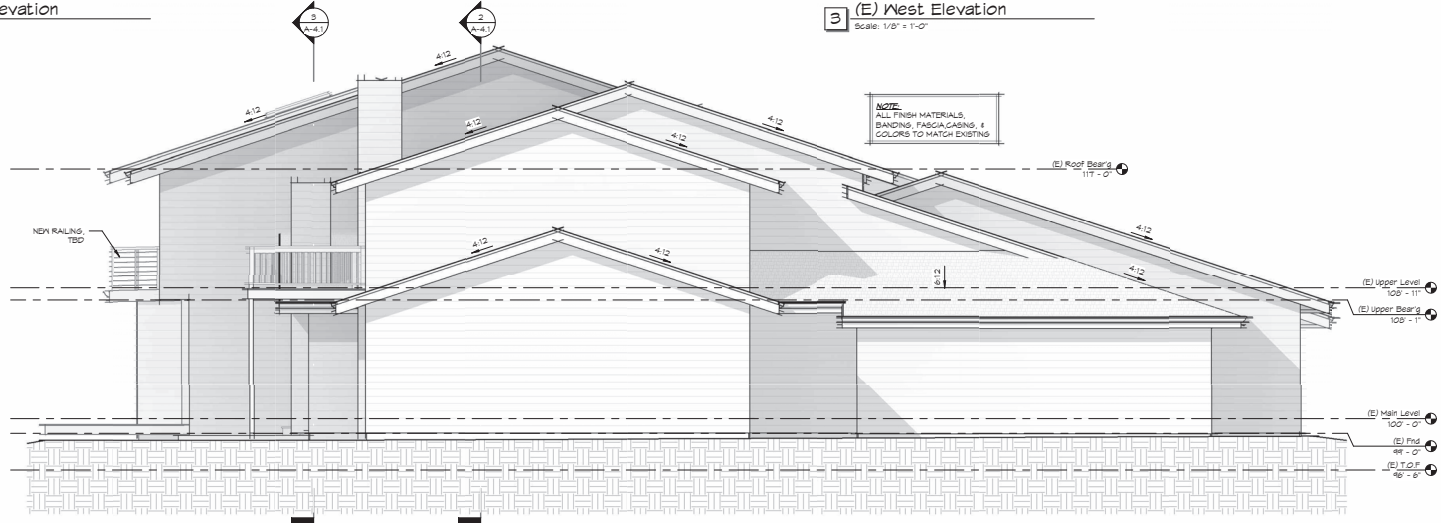
SHEET



4 (E) East Elevation
Scale: 1/2" = 1'-0"



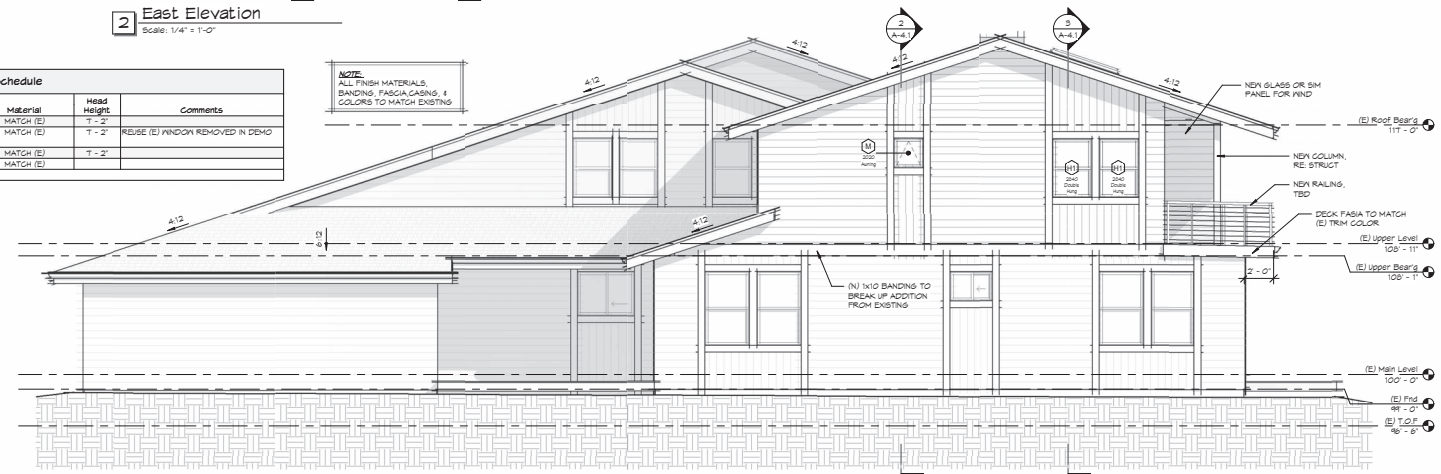
3 (E) West Elevation
Scale: 1/2" = 1'-0"



2 East Elevation
Scale: 1/4" = 1'-0"

Window Schedule							
Symbol	Count	Width	Height	Description	Material	Head Height	Comments
H1	2	2'-0"	4'-0"	2040 Double Hung	MATCH (E)	T-2"	
H2	1	2'-0"	4'-0"	2040 Double Hung (reuse exist)	MATCH (E)	T-2"	REUSE (E) WINDOW REMOVED IN DEMO
M	1	2'-0"	2'-0"	2020 Awning	MATCH (E)	T-2"	
SK1	2	1'-0"	4'-0"	21" x 34" Skylight	MATCH (E)		
Total	6						

NOTE:
ALL FINISH MATERIALS,
BANDING, FASCIA CASING, &
COLORS TO MATCH EXISTING



1 West Elevation
Scale: 1/4" = 1'-0"

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Edwards Residence
1025 Sailors Reef
Fort Collins, CO 80525

Exterior Elevations

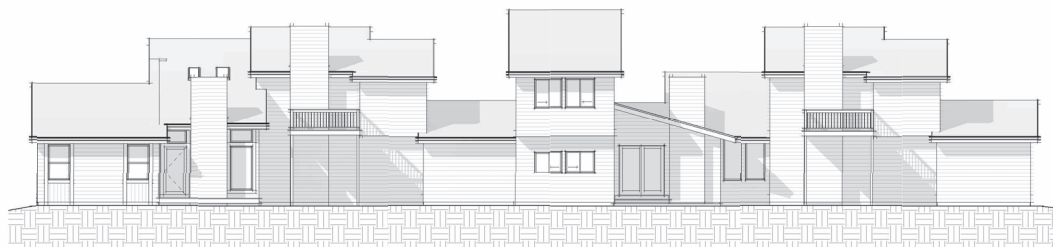
A-3.1

SHEET

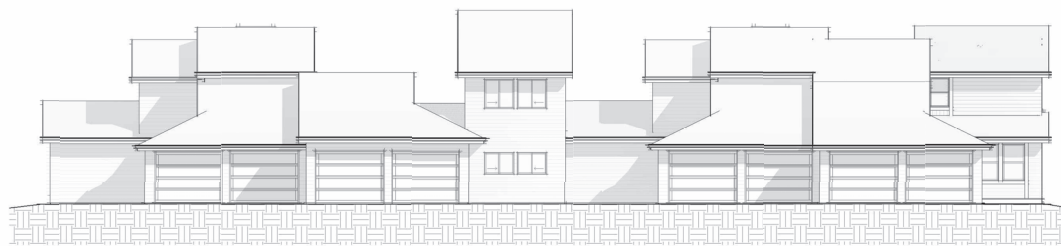
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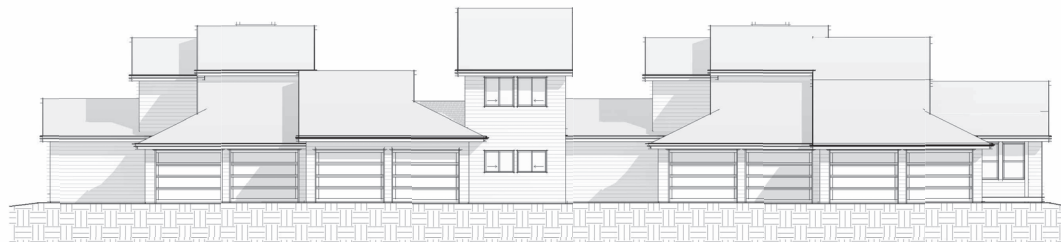
6 Full South Elevation
Scale: 1/8" = 1'-0"



5 (E) South Elevation
Scale: 1/8" = 1'-0"



4 Full North Elevation
Scale: 1/8" = 1'-0"

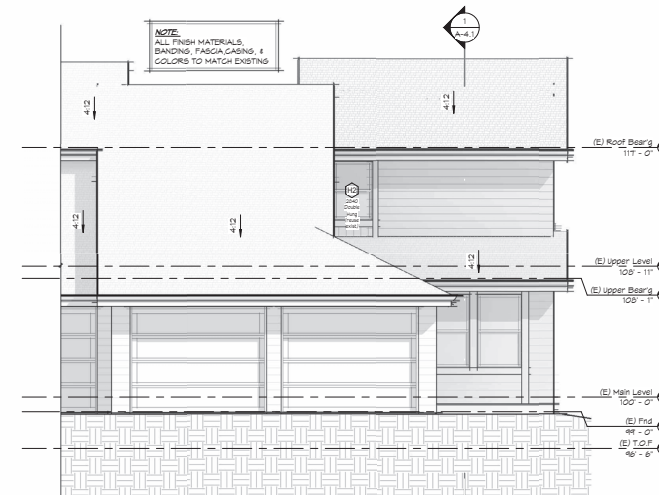


3 (E) North Elevation
Scale: 1/8" = 1'-0"

Window Schedule						
Symbol	Count	Width	Height	Description	Material	Head Height
H1	2	2'-0"	4'-0"	20-40 Double Hung	MATCH (E)	T-2"
H2	1	2'-0"	4'-0"	20-40 Double Hung (Reuse 2035)	MATCH (E)	T-2"
M	1	2'-0"	2'-0"	2020 Awning	MATCH (E)	T-2"
SK1	2	7'-0"	4'-6"	21" x 54" Skylight	MATCH (E)	
TOTAL	6					



2 South Elevation
Scale: 1/4" = 1'-0"



1 North Elevation
Scale: 1/4" = 1'-0"

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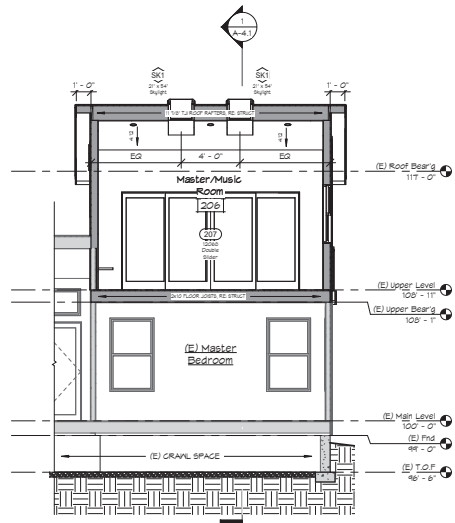
Edwards Residence

1025 Sailors Reef
Fort Collins, CO 80525

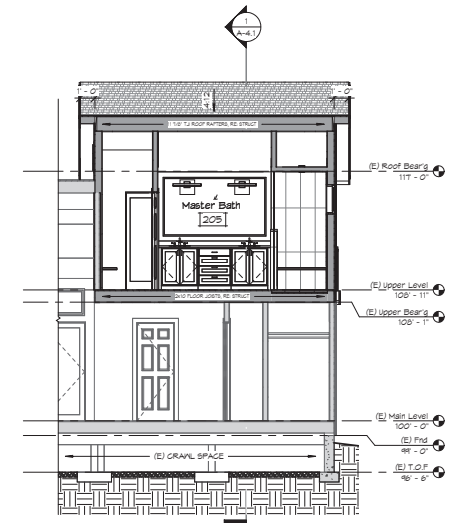
Exterior Elevations

A-3.2

SHEET



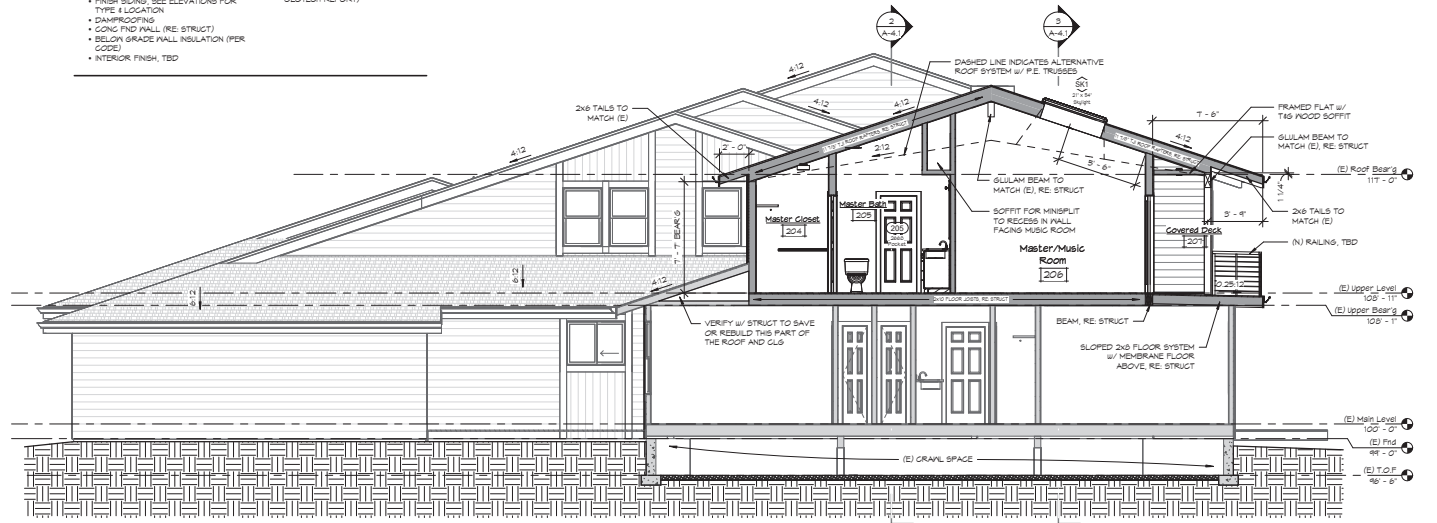
3 Section C
Scale: 1/4" = 1'-0"



2 Section B
Scale: 1/4" = 1'-0"

BUILDING ENVELOPE NOTES

- | | |
|---|---|
| <p>TYPICAL ROOF SYSTEM</p> <ul style="list-style-type: none"> • P.E. TRUSSES, RE. STRUCT • 2x4 RAFTERS, RE. STRUCT • ATTIC INSULATION (PER CODE) • ROOF SHEATHING, RE. STRUCT • (2) LAYERS SH ROOF FELT • ICE & WATER SHIELD FOR ALL OVERHANGS AND VALLEYS • ASPHALT SHINGLE ROOF (INSTALL PER MANUFACTURER SPECIFICATIONS) <p>TYPICAL FASCIA/SOFFIT SYSTEM</p> <ul style="list-style-type: none"> • SEAMLESS CONT. GUTTER & DOWNSPOUTS • DRIP EDGE MATCH FASCIA COLOR • MATCH (E) FASCIA, RE. EXTERIOR ELEVATIONS • MATCH (E) SOFFIT & FRAMING • MATCH (E) SOFFIT BOARD U.N.C. <p>TYPICAL FOUNDATION WALL</p> <ul style="list-style-type: none"> • FINISH SCHED. SEE ELEVATIONS FOR TYPE & LOCATION • DAMPROOFING • CONG FND WALL (RE. STRUCT) • BELOW GRADE WALL INSULATION (PER CODE) • INTERIOR FINISH, TBD | <p>TYPICAL WALL SYSTEM</p> <ul style="list-style-type: none"> • MATCH (E) FINISH SCHED. SEE ELEVATIONS FOR TYPE & LOCATION • BUILDING WRAP • WALL SHEATHING, RE. STRUCT • 2x6 STUDS, RE. STRUCT FOR SPACING • WALL INSULATION (PER CODE) • VAPOR BARRIER • 1/2" GYPSUM BOARD • INSULATION (PER CODE) OVER CONG WALLS (UNFINISHED LOWER LEVEL) <p>TYPICAL FLOOR SYSTEM</p> <ul style="list-style-type: none"> • FINISH FLOORING (TBD) • FLOOR SHEATHING (RE. STRUCT) • FLOOR JOISTS (RE. STRUCT) • RM INSULATION (PER CODE) <p>TYPICAL SLAB SYSTEM</p> <ul style="list-style-type: none"> • CONG SLAB ON GRADE, RE. STRUCT • SLAB UNDERLAYMENT (RE. GEOTECH REPORT) |
|---|---|



1 Section A
Scale: 1/4" = 1'-0"

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REVISIONS:		
NO.	DESCRIPTION	DATE

Edwards Residence

1025 Sailors Reef
Fort Collins, CO 80525

Building Sections

A-4.1

SHEET

INTERIOR FINISHES

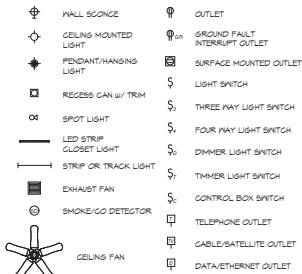
TAG	TYPE	IMAGE	MFR	SERIES	MODEL	FINISH	SIZE	INSTALLATION	EDGE	GROUT
CAB-1	ADSR		MISRC	Block Stan	NA	Graphite, Dura-grip Door Style	NA	RE: Interior Shelving, Soft Close	NA	NA
H-1	KNOP		Top Knobs	Marion	TN135DN	Brushed Satin Nickel	1 1/4" Dia	INSTALL ON Vanity Doors	NA	NA
H-2	PULL		Top Knobs	Heritage	TN30485DN	Brushed Satin Nickel	8 1/8" LF	INSTALL ON Vanity Drawers	NA	NA
C-1-1	GRATE		PERKO GRATE	Mesh Program	802437"	Polished	3 CM	RE: Finish Floor Plan & Interior Elevations w/ Slope, NO RETURN ON SLOPE	eased & Polished on Sides	NA
T-1	Porcelain Floor Tile		Shaw	Zenith	CS58P	02702	12" x 24"	RE: Interior Floor Plan	# Needed: Schluter Dimple Edge, 1/2" Green	Match 100 Driftwood grout joint in Tight as Possible
T-2	Porcelain Wall Tile		DM	Aesthetic	A520	Flat Satin	12" x 36"	RE: Interior Elevations	Schluter Jolt Edge, 1/2" Bright White	Match 30 Avalanche grout joint in Tight as Possible
T-3	Porcelain Wall Tile		DM	Aesthetic	A523	Geometric Matte White	12" x 36"	RE: Interior Elevations	Schluter Jolt Edge, 1/2" Bright White	Match 30 Avalanche grout joint in Tight as Possible
VD-1	Solid		TBD	TBD	TBD	MESH Coating	MESH Coating	RE: Interior Floor Plans	NA	NA

SUPPLIER: Cabinet & Cabinet Hardware: MISRC, Anne Klautner, 410-674-8841 ext. 100, anne@misrc.com
 SUPPLIER: Countertops: StoneSource, Sarah Hoffmann, 410-493-1992 ext. 2, sarah@stonesourceofcolorado.com
 SUPPLIER: Tile: De'Forge Designs, Kelsey Herk, 410-420-1081, kelseyherk@dfdesigns.com
 SUPPLIER: Wood Select: Wood Floors, Jay Amicki, 410-866-0972, jay@selectfloors.com

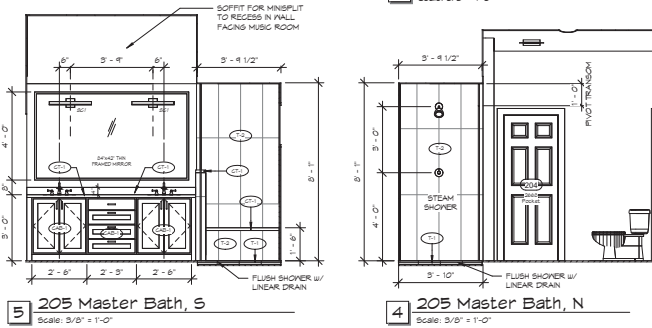
Lighting Fixture Schedule

Type	Count	Family and Type	Manufacturer	Model	Lamp	Comments
C1	5	Downlight, Recessed Can 5" angled	TBD	TBD	TBD	
C2	1	Downlight, Recessed Can 5" recessed	TBD	TBD	TBD	
C3	2	Downlight, Recessed Can 5" exterior	TBD	TBD	TBD	
CH1	1	Ceiling, Flush Mount, CH1	TBD	TBD	TBD	
SC1	2	Recessed, Vanity Master Bath	TBD	TBD	TBD	
ST1	1	Recessed, 160 Div'sn	Sorbus	160 DS/15h	LED	
Grand Total	12					

ELECTRICAL / LIGHTING LEGEND

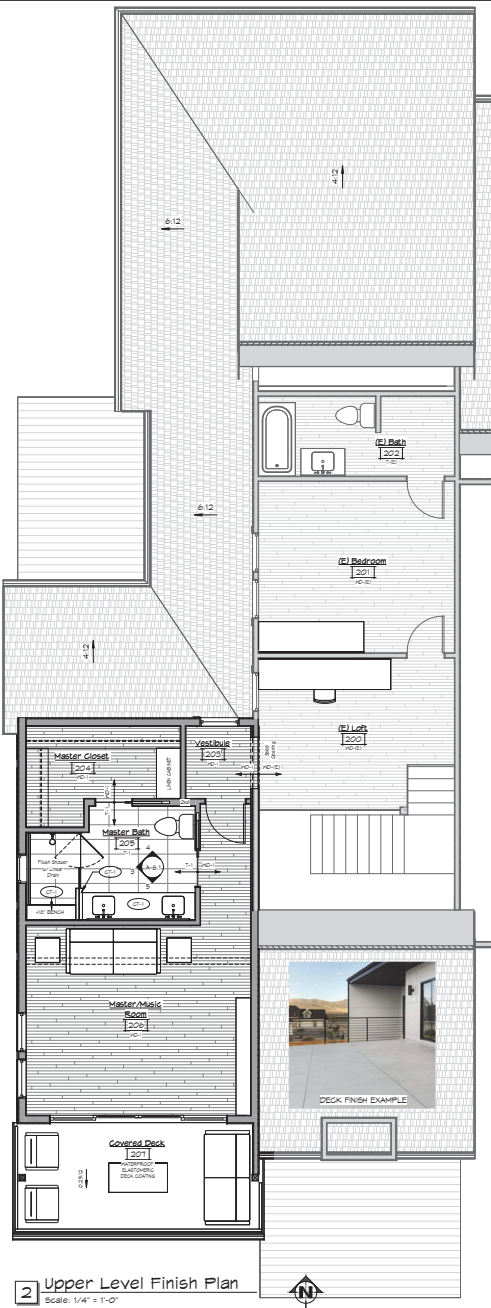


NOTE: ELECTRICAL ROUGH-IN MARK THRU BY OWNER, CONTRACTOR, AND DESIGNER SHALL DETERMINE FINAL LOCATION AND QUANTITY OF ALL LIGHT FIXTURES, SWITCHES (AND TYPE), AND SPECIAL OUTLETS.



3 205 Master Bath, W
Scale: 3/8" = 1'-0"

4 205 Master Bath, N
Scale: 3/8" = 1'-0"



2 Upper Level Finish Plan
Scale: 1/4" = 1'-0"

GENERAL NOTES - RCP

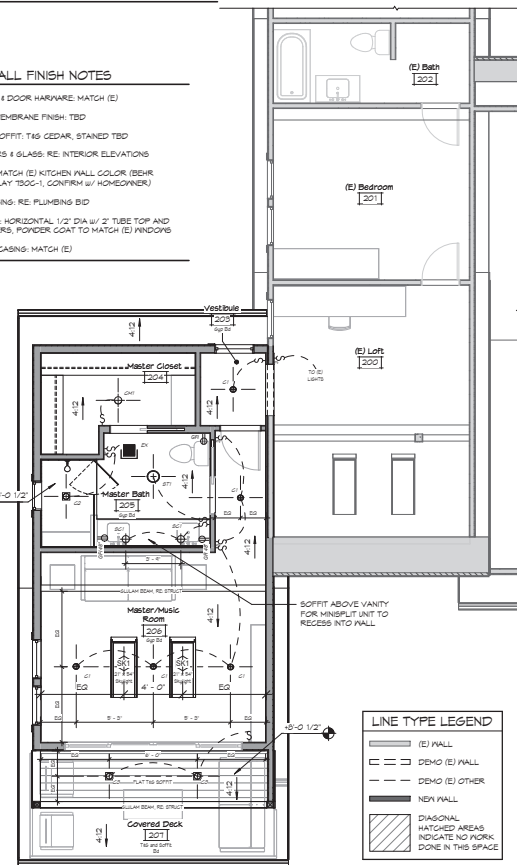
- DO NOT SCALE DRAWINGS. FIELD VARY ALL DIMENSIONS. NOTIFY DESIGNER IMMEDIATELY WHEN DISCREPANCIES ARE DISCOVERED.
- INTERIOR DIMENSIONS ARE FROM FACE OF STUD, FACE OF MASONRY, OR FACE OF CONCRETE, WHERE DIMENSIONS IS NOTED "CLEAR", DIMENSION IS TO FINAL FINISH.
- PROVIDE BLOCKING AT ALL ACCESSORIES (GRAB BARS, ETC.), HARDWARE WHERE REQUIRED, WALL HANG CABINETS, AND TV MOUNTING BRACKETS.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS FOR WORK UNDER THEIR RESPECTIVE CONTRACTS.
- ONLY LIFE/SAFETY/WELEFARE ELECTRICAL ITEMS SHOWN FOR PERMIT PURPOSES. ALL OTHER ELECTRICAL SHALL COMPLY WITH LOCAL CODE/ZONING AND SHALL BE CHOSEN BY OWNER, DESIGNER, AND ELECTRICAL CONTRACTOR.
- EXTERIOR LIGHTING TO BE DONE BY CODE AT EACH EXTERIOR EXIT.
- REVIEW ALL INTERIOR AND EXTERIOR ELEVATIONS FOR LIGHT MOUNTING HEIGHTS.
- CONFIRM ALL USE OUTLETS AND LOCATIONS AT ELECTRICAL PLUMBING.
- CONFIRM ALL NON LIGHTING SYSTEM DIMMER SWITCHES AT ELECTRICAL PLUMBING.
- CONFIRM ALL FINAL PENDANT/TRACK HANGING HEIGHTS/CONFIGURATIONS w/ OWNER AND DESIGNER.

GENERAL NOTES - FINISH PLAN

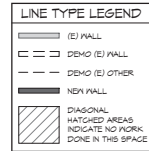
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- INTERIOR DIMENSIONS ARE FROM FACE OF STUD, FACE OF MASONRY, OR FACE OF CONCRETE, WHERE DIMENSIONS IS NOTED "CLEAR", DIMENSION IS TO FINAL FINISH.
- PROVIDE BLOCKING AT ALL ACCESSORIES (GRAB BARS, ETC.), HARDWARE WHERE REQUIRED, WALL HANG CABINETS, AND TV MOUNTING BRACKETS.
- IT IS THE RESPONSIBILITY OF THE MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS TO REVIEW ALL OF THE DRAWINGS, ESPECIALLY THE INTERIOR ELEVATIONS AND FINISH PLANS, FOR WORK UNDER THEIR RESPECTIVE CONTRACTS.
- ALL CLOSETS TO BE REVIEWED ON SITE w/ OWNER, CONTRACTOR, AND DESIGNER FOR SHELVING AND HANGING DETAILS.
- ALL GLASS SHOWER DOOR/WALL SYSTEMS TO BE CONFIRMED w/ INTERIOR DESIGNER BEFORE ORDERING AND INSTALL.
- PAINT COLORS/SELECTIONS TO BE CONFIRMED ON SITE w/ COLOR SPECIALIST, DESIGNER, OWNER, AND CONTRACTOR BEFORE DRYWALL TEXTURE IS FINISHED.
- CONFIRM PLACEMENT OF ALL PLUMBING/BATHROOM FIXTURE ACCESSORIES ON SITE w/ INTERIOR DESIGNER, OWNER, AND CONTRACTOR.

OVERALL FINISH NOTES

- DOORS & DOOR HARDWARE MATCH (E)
- DECK MEMBRANE FINISH: TBD
- DECK SOFFIT: T45 CEDAR, STAINED TBD
- MIRRORS & GLASS: RE: INTERIOR ELEVATIONS
- PAINT MATCH (E) KITCHEN WALL COLOR (205R WHITE CLAY T20G-1, CONFIRM w/ HOMEOWNER)
- PLUMBING: RE: PLUMBING BID
- RAILINGS: HORIZONTAL 1/2" DIA w/ 2" TUBE TOP AND BALUSTERS, POWDER COAT TO MATCH (E) WINDOWS
- TRIM & CASING: MATCH (E)



1 Upper Level RCP
Scale: 1/4" = 1'-0"



ALL DRAWINGS, SPECIFICATIONS, PLANS, IDEAS, ARRANGEMENTS, AND DESIGNS REPRESENTED OR REFERRED TO ARE THE PROPERTY OF AND OWNED BY TOMLINSON DESIGNS, INC. WHETHER THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED OR NOT. THEY WERE CREATED, EVOLVED, DEVELOPED AND PRODUCED FOR THE SOLE USE ON AND IN CONNECTION WITH THIS PROJECT AND NONE OF THE ABOVE MAY BE DISCLOSED OR GIVEN TO OR USED BY ANY PERSON, FIRM, OR CORPORATION FOR ANY USE OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF TOMLINSON DESIGNS, INC.

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Struct Backgrounds

NOT FOR CONSTRUCTION
06/02/2022

td tomlinson designs, inc.

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Fort Collins, Colorado 80524
970.372.0865 phone
888.363.5225 fax
info@tomlinsondesigns.com

www.tomlinsondesigns.com

PROJECT: 2119
DRAWN BY: ST
CHECKED BY: ST

ISSUE DATE: 06/02/2022

REVISIONS:
NO. DESCRIPTION DATE

Edwards Residence

1025 Sailors Reef
Fort Collins, CO 80525

Finish Plan, RCP, Interior Elevations, & Schedules

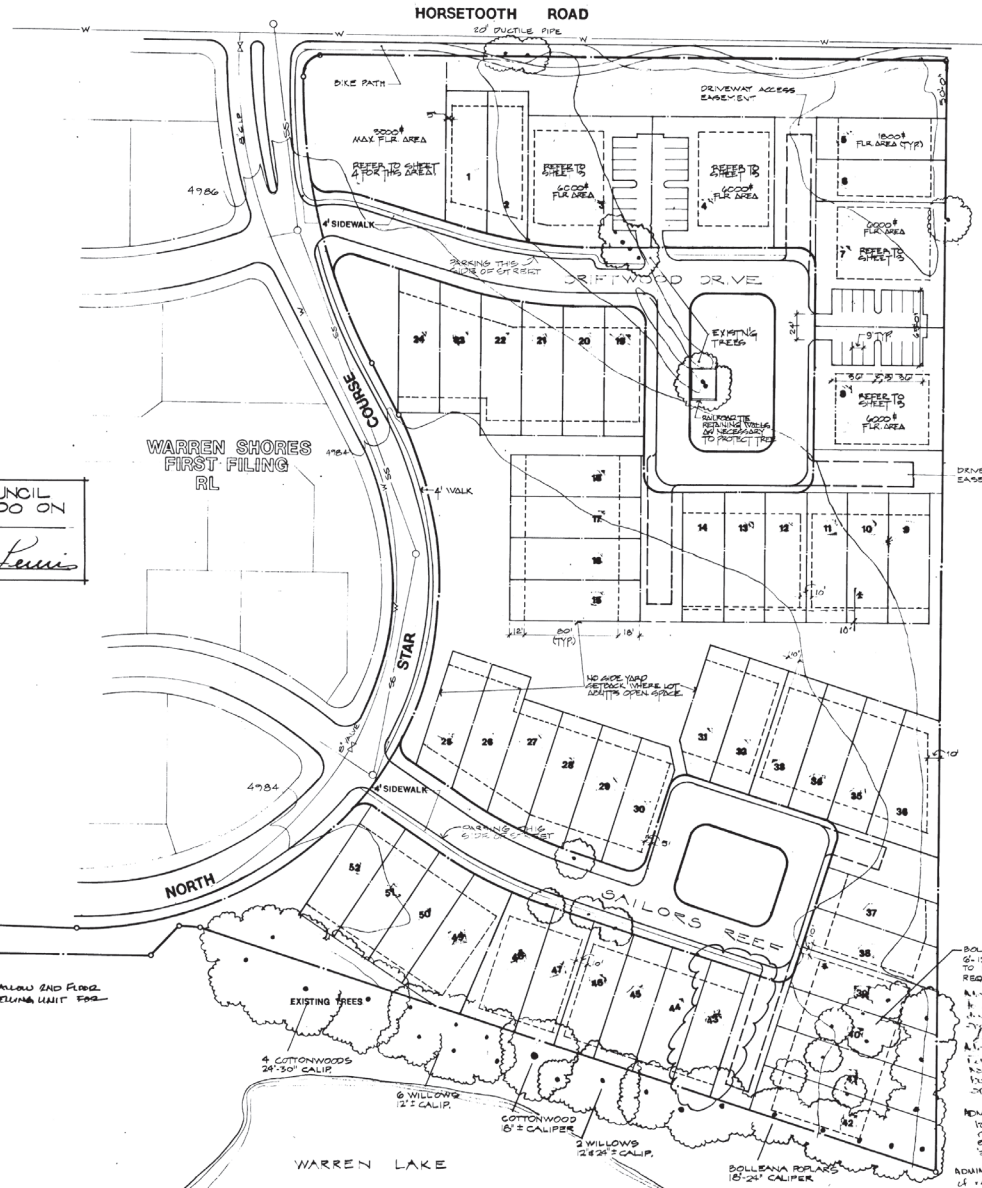
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SHEET

APPROVED BY THE CITY COUNCIL
OF FORT COLLINS, COLORADO ON
April 28, 1978
CITY CLERK *Verna Lewis*



ADMINISTRATIVE CHANGE APPROVED TO ALLOW 2ND FLOOR
ADDITION TO EXISTING SINGLE-FAMILY DWELLING UNIT FOR
A TOTAL OF 2,000 SF
EFFECTIVE 11.30.87 MIKE LOWMEYER



LAND USE BREAKDOWN

1 SITE DATA

TOTAL AREA	7.75 ACRES	= 64 UNITS/ACRE
NO. OF UNITS	92 UNITS	
PARCEL SIZE (TOWNHOUSE 25' X 110')		= 3,850 SQ FT
PARCEL SIZE (FOUR-PLEX 100' X 110')		= 11,550 SQ FT

2 TOTAL OPEN SPACE

ACTIVE OPEN SPACE	10 ACRES = 10%	15 ACRES REQ
ROW SPACE	15 ACRES	
RESIDUAL OPEN	12 ACRES	
15% LOTS	18 ACRES	
TOTAL	4.1 ACRES = 41%	2.7 ACRES REQ

3 COVERAGE

LOT	94 ACRES = 94%
ROW	172 ACRES = 100%
OPEN SPACE	274 ACRES = 200%
COMMERCIAL	38 ACRES = 25%
TOTAL	99 ACRES 100%

4 BUILDING ENVELOPES

GENERAL ENVELOPES ARE SHOWN ON SITE PLAN FOR SPECIFIC DIMENSIONS SEE SITE DEVELOPMENT ALTERNATIVES SHEET 4

RIP ZONE:

TOTAL ACRES GROSS	9.9 ACRES
TOTAL ACRES NET	8.18 ACRES
TOTAL ALLOWABLE FLOOR AREA @ 95%	116,700 SF

4 - FOUR-PLEX @ 6,000² EACH = 24,000²

40 UNITS @ 200² EACH = 84,000²

COMMERCIAL = 3,000²

TOTAL = 111,000²

SITE PLAN NORTH SHORE PUD

GENERAL NOTES:

- 1. MAX. FLOOR AREA FOR SINGLE-FAMILY HOME NOT TO EXCEED 3,000 SQ FT
- 2. MAX. FLOOR AREA FOR 4-UNIT PLEX NOT TO EXCEED 20,000 SQ FT
- 3. SHALL BE PROTECTED UNDER THE BUILDING ENVELOPE AREA
- 4. MAX. COMMON AREA VALUE SHALL BE 1 HOUR CONSTRUCTION



ZVFK
ARCHITECTS-PLANNERS

1 OF 4

218 WEST MOUNTAIN
FT. COLLINS, COLORADO
80521 493-4105

BOLLENA POPLARS
6" - 12" CALIPER
TO BE THINNED AS
REQ. FOR BUILDINGS

REMAIN CHANGES IN EXISTING SUBDIVISION
OF 1974. DRAFTING BY ZVFK
EXISTING IN 1975. 10-24
APPROVED BY CITY OF FORT COLLINS
ADMINISTRATIVE CHANGE APPROVED
EFFECTIVE 11.30.87 MIKE LOWMEYER

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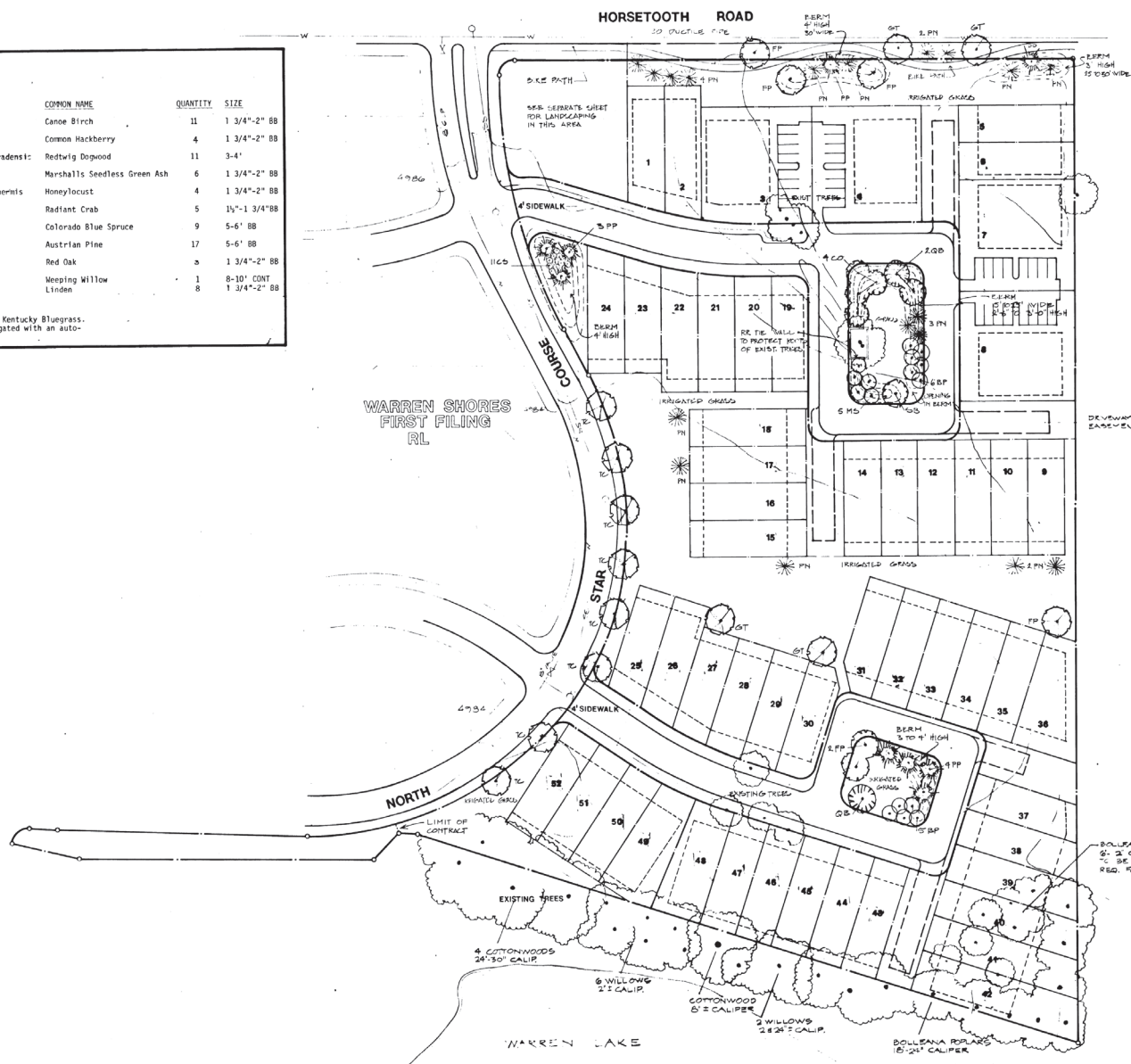
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NORTH SHORE P.U.D.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE
BP	Betula papyrifera	Canoe Birch	11	1 3/4"-2" BB
CO	Celtis occidentalis	Common Hackberry	4	1 3/4"-2" BB
CS	Cornus stolonifera coloradensis	Redtwig Dogwood	11	3-4"
FP	Fraxinus pennsylvanica	Marshalls Seedless Green Ash	6	1 3/4"-2" BB
GT	Gleditsia trifacanthos inermitis	Honeylocust	4	1 3/4"-2" BB
MS	Malus sp. 'Radiant'	Radiant Crab	5	1 1/2"-1 3/4" BB
PP	Picea pungens	Colorado Blue Spruce	9	5-6' BB
PN	Pinus nigra	Austrian Pine	17	5-6' BB
QB	Quercus borealis	Red Oak	3	1 3/4"-2" BB
SB	Salix babylonica	Weeping Willow	1	8-10' CONT
TC	Tilia cordata	Linden	8	1 3/4"-2" BB

NOTES:
Grassed areas to be seeded with Kentucky Bluegrass.
All landscaped areas to be irrigated with an automatic sprinkler system.



LAND USE BREAKDOWN

1 SITE DATA
 TOTAL AREA 77 ACRES
 NO. OF LOTS 64 UNITS
 64 UNITS ACRES
 PARCEL SIZE (TOWNHOUSE) 20' X 110' = 2200 SQ FT
 PARCEL SIZE (FOUR-PLY) 05' X 110' = 11550 SQ FT

2 TOTAL OPEN SPACE
 ACTIVE OPEN SPACE 40 ACRES = 52%
 ROW SPACE 15 ACRES = 19%
 RESIDUAL OPEN 15 ACRES = 19%
 5% LOT 4.1 ACRES = 5%
 TOTAL 74.1 ACRES = 96% OF TOTAL ACRES

3 COVERAGE
 ROW 15 ACRES = 19%
 OPEN SPACE 19 ACRES = 25%
 COMMERCIAL 12 ACRES = 16%
 TOTAL 46 ACRES = 60%

4 BUILDING ELEVATION
 GENERAL ELEVATION SEE SHOW CASE PLAN
 FOR THREE DIMENSIONAL SEE SITE DEVELOPMENT
 UTILITIES - SHEET 4

LANDSCAPING SITE PLAN

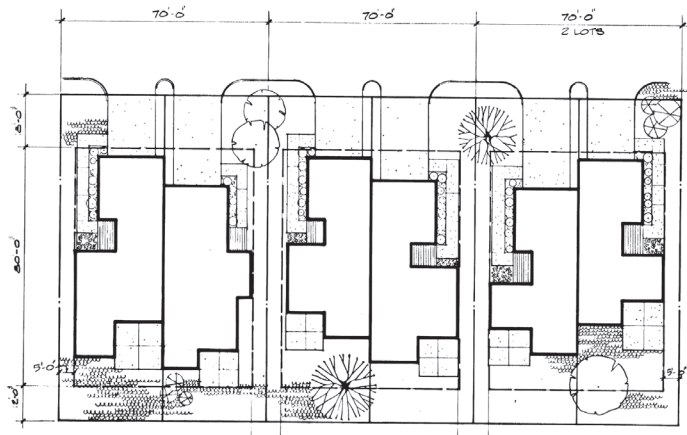
NORTH SHORE PUD



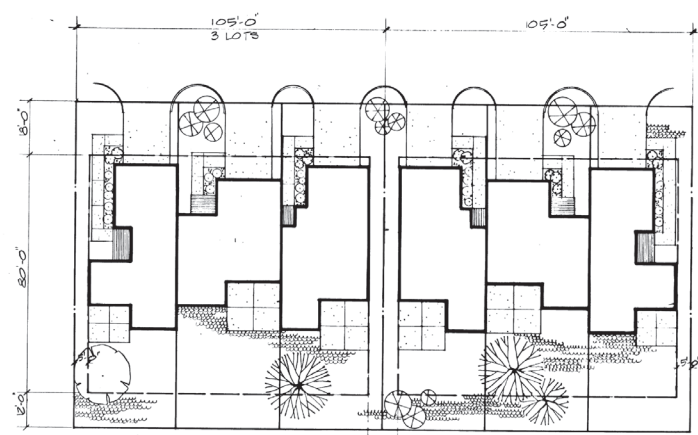
LANDSCAPE DESIGN GRANT KLUD	ZVFK ARCHITECTS IN ANNERS	2 OF 4
2415 HAMPTON DR FORT COLLINS CO 971056 4824251	218 WEST MOUNTAIN FT COLLINS COLORADO 80521 493 4105	

REVISED 28 FEB. 1978

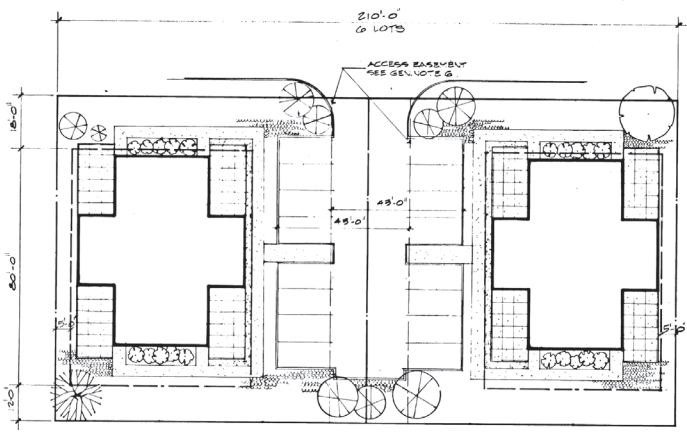
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DUPLEX

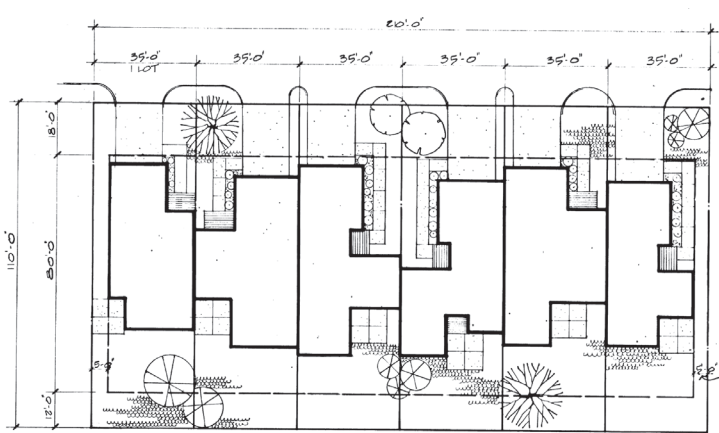


TRI-PLEX



FOUR-PLEX

NOTE: FOR BUILDING PERMIT GUIDELINES SEE GENERAL NOTE #9.



TOWNHOUSE

- GENERAL NOTES:
1. A MINIMUM OF TWO LOTS SHALL BE REQUIRED FOR ANY BUILDING TYPE.
 2. TWO OFF STREET PARKING SPACES SHALL BE PROVIDED FOR EACH UNIT.
 3. NO BUILDING SHALL BE LOCATED WITHIN 10' OF ANY ADJACENT BUILDING.
 4. FENCING RESTRICTIONS SHALL BE SUCH THAT REAR PROPERTY LINES SHALL NOT HAVE CONTIGUOUS FENCING.
 5. FOUR-PLY UNITS MAY OCCUR ONLY WHERE DESIGNATED ON PLOT IN THE EVENT ONLY ONE UNIT IS CONSTRUCTED, THEN REQUIRED PARKING MUST BE INSTALLED AT TIME OF CONSTRUCTION OF THAT UNIT.

SITE
DEVELOPMENT
ALTERNATIVES

NORTH SHORE PUD



ZVFK
ARCHITECTS-PLANNERS

218 WEST MOUNTAIN
FT. COLLINS COLORADO
80521 493-4106

3 OF 4

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Please return to:
Touchstone Prop Mgmt
2850 McClelland Drive
Suite 1000
Fort Collins, CO 80525

Jamestown Homeowners Association

FOR OFFICE USE ONLY
Date Received _____
Critical Date _____
Date Sent to ACC _____
Date Received from ACC _____
Rep _____

ARCHITECTURAL CONTROL COMMITTEE (ACC) IMPROVEMENT REQUEST

Name: Dennis & Elaine Edwards

Home Phone: 970-307-6571

Address: 1025 Sailors Reef

Work Phone: 970-732-2525

Mailing address: 1025 Sailors Reef

email address: eanddedwards1025@gmail.com

My request involves the following type of improvement:

- Painting
- Deck/Patio/Slab
- Roofing
- Drive/walk addition
- Landscaping
- Patio Cover
- Room Addition
- Windows/Doors
- Fencing
- Other _____

Describe Improvements: (Include paint chips, building materials, landscape plans, fence layout, other plans and brochures for patios, decks, structures, etc.) refer to attached plans.

Planned Completion Date: Jan 2023

Building permit required yes no

I understand that I must receive approval of the Architectural Control Committee in order to proceed. I understand that ACC approval does not constitute approval of the local building department and that I may be required to obtain a building permit. I agree to complete improvements promptly after receiving approval. I have read and understand the Covenants and Architectural guidelines (if applicable) and will comply. I also understand that I shall maintain proper drainage away from my foundation and not impede proper drainage swales on my lot when installing landscape or building improvements. Upon the completion of my improvement, I hereby authorize the Architectural Control Committee and Management to enter onto my property for exterior inspection at a mutually agreed upon time.

Date: _____ Homeowner Signature: _____

THIS APPROVAL DOES NOT APPLY TO DRAINAGE FROM YOUR LOT OR NEIGHBORING LOTS. QUALIFIED INDIVIDUALS SHOULD MAKE CAREFUL STUDY PERTAINING TO THE PROPER DRAINAGE OF BOTH IRRIGATION AND STORM DRAINAGE OF YOUR LOT AND YOUR NEIGHBORS LOTS.

ACC Action:

Approved as submitted.

Approved subject to the following requirements: _____

Disapproved: _____

Architectural Control Committee Member Sella Day, on behalf of the Date 6/4/2022

Approval of this application is subject to owners obtaining City approved building permits (if required).

The applicant has reviewed this application and its attachments with the owners adjacent to the applicant's property and any other property owner that may be affected by the proposed work. These owners have been informed to voice any concerns regarding the proposed work to a member of the Architectural Control Committee or Touchstone Property Management.

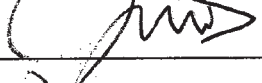
**FAILURE TO COMPLETE THIS NOTICE PROVISION WILL RESULT IN
AUTOMATIC DISAPPROVAL.**

Printed Name

Address

Signature (required)

Date

- | | | | | |
|----|--------------------|-------------------|---|---------|
| 1. | Jacob Greenhood | 1021 Sailors Reef |  | 5/24/22 |
| 2. | Craig Davis | 1029 Sailors Reef | } see attached email | |
| 3. | Nancy Koenig Davis | 1029 Sailors Reef | | |
| 4. | | | | |

Craig <craigdavis4541@gmail.com>

Thu, May 5, 8:10 AM

To: Elaine and Dennis Edwards <eanddedwards1025@gmail.com>

Hi Dennis & Elaine, your plan looks well thought out and professionally planned. As neighbors, we approve the concept.
Craig & Nancy

Sent from my iPhone

Approval from Nancy and
Craig Davis, our immediate
neighbors to the east.

> On May 1, 2022, at 08:47, Elaine and Dennis Edwards <eanddedwards1025@gmail.com>
wrote:

>

> Dear Craig, Nancy and Jacob,

[Quoted text hidden]

Edwards, Design-1a Review Set (2022-04-28).pdf

Elaine and Dennis Edwards <eanddedwards1025@gmail.com>

Thu, May 5, 12:35 PM

To: Craig <craigdavis4541@gmail.com>

Thank you so much. We love the design and think it fits well with the neighborhood. It won't start for a while still need engineering and city approval.

[Quoted text hidden]