

Conceptual Review Agenda

Schedule for 04/10/17 to 04/10/17

281 Conference Room A

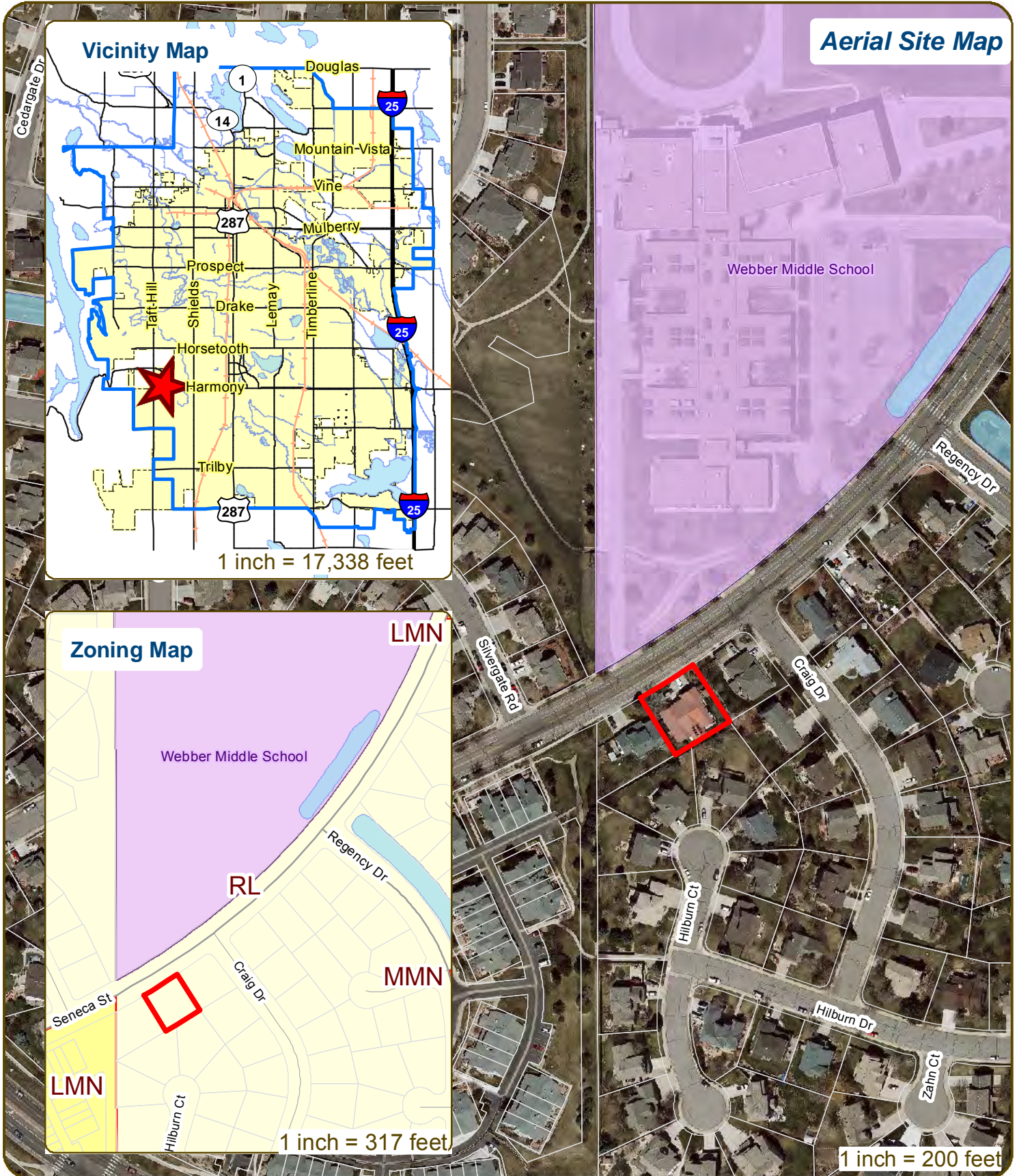
Monday, April 10, 2017

| Time | Project Name | Applicant Info | Project Description | Planner |
|------|---|---|---|--------------|
| 9:30 | 4406 Seneca St - Group Home CDR170019 | Greg Baustert (303) 570-1169 greg@advocatetelecom.com | <p>This is a request to convert a single-family residence into a ten-bedroom group home at 4406 Seneca St (parcel # 9734411014). The proposal would serve as an assisted living facility that is licensed by the State of Colorado for eight elderly residents. The site plan indicates the conversion of the existing two-car garage into two bedrooms with a shared bathroom totaling 5 bedrooms on the first floor. The basement will consist of five bedrooms and the additional access gained from a new stairwell on the east side of the residence. The applicant indicated that there will be an on-site manager and installation of sprinkler system. The site will include parking on a circular drive for 3-4 cars and will utilize four spaces of on street parking. The project is located in the Residential Low Density (RL), zone district and is subject to a Planning and Zoning Board (Type II) hearing.</p> | Clay Frickey |

Monday, April 10, 2017

| Time | Project Name | Applicant Info | Project Description | Planner |
|--------------|--|---|---|----------------|
| 10:15 | 2416 W Olive St - School CDR170021 | Sarah Scholz (970) 658-6208 crystal.treehousemontessori@gmail.co | This is a request to convert an existing single-family residence into a Montessori school located at 2416 W Olive St (parcel# 9709403020). The site plan does not show any changes to the existing footprint of the home, shed or shop that already exist on the lot. The proposal indicates the addition of bicycle parking and garbage enclosure on the west side of the lot. It is indicated that vehicles would use the street as a turnaround. The project is located in the Low Density Mixed Use (LMN), zone district and is subject to a Planning and Zoning Board (Type II) hearing. | Clark Mapes |
| 11:00 | 3506 Lochwood Dr - Office CDR170020 | Felipe Lopez (720) 946-3228 felipe@joearchitect.com | This is a request to convert an existing day care center into a dental office (parcel # 8730370003). The plan proposes the roof to be raised 3' and the addition of a gable. The site plan indicates the construction of new 4' concrete sidewalks and a relocated handicap parking space. The relocation of the handicap parking will include ADA compliant ramp and striping on the southern portion of the site. Existing landscape and fencing will be removed and new landscape will be installed. The project is located in the Low Density Mixed Use Neighborhood (LMN), zone district and is subject to an Administrative (Type I) hearing. | Ted Shepard |

4406 Seneca St Group Home



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CONCEPTUAL REVIEW: APPLICATION

General Information

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BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Greg Baustert - owner

Business Name (if applicable) St. John Assisted Living, LLC dba Seneca House

Your Mailing Address 38844 County Road 31; Eaton, CO 80615

Phone Number 303-570-1169 Email Address greg@advocatetelecom.com

Site Address or Description (parcel # if no address) 4406 Seneca St.; Fort Collins, CO 80526

Parcel Number: 97344-11-014

Description of Proposal (attach additional sheets if necessary) see attached Description of Proposal

Proposed Use Senior Group Home(Assisted Living Residence) Existing Use single family residence

Total Building Square Footage 5314 S.F. Number of Stories 1+basement Lot Dimensions 100'x109.26'

Age of any Existing Structures Built 1988

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [x] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area none planned S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

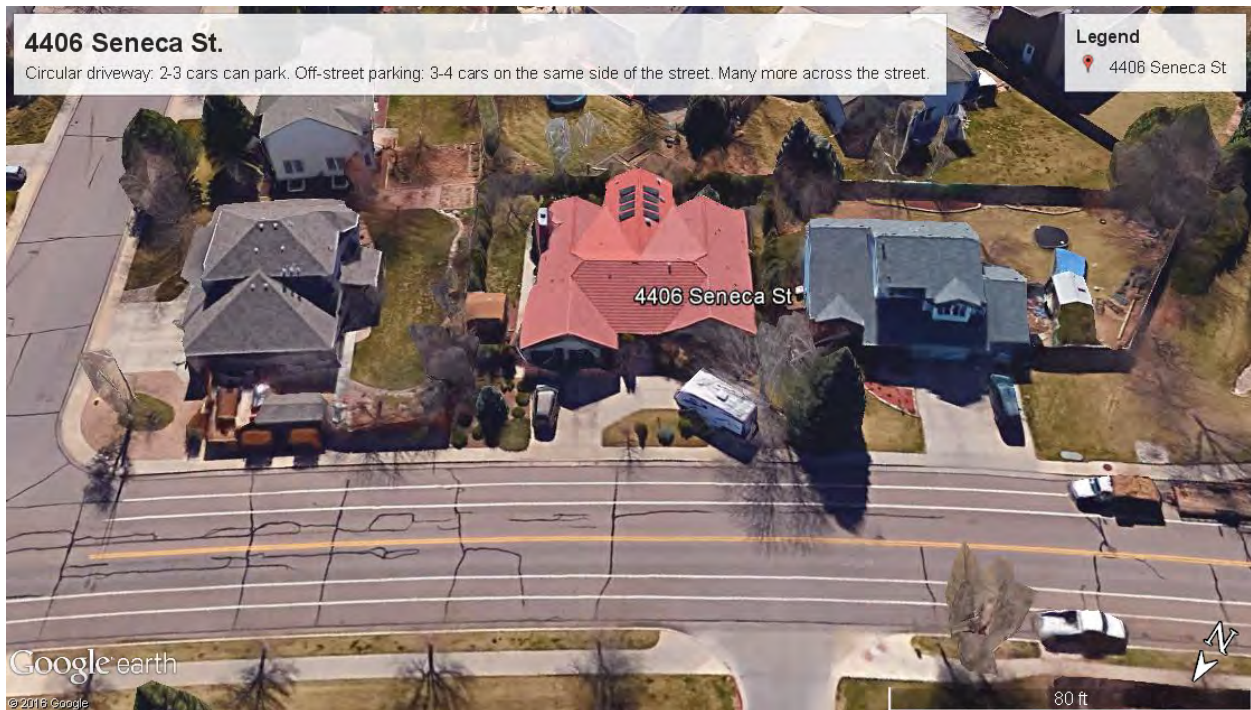
Description of Proposal:

Modify this single-family residence into an Assisted Living Residence licensed by the State of Colorado for 8 elderly residence. On the ground floor, convert the existing two car garage into 2 additional bedrooms and a shared bathroom.

In the basement, add a walk-up basement entrance on the East side of house to serve as an additional point of egress in the basement. Add three new bedrooms and two new bathrooms in the basement. There are existing 4-foot-wide egress windows where these proposed new bedrooms are to be built. Two of the new basement bedrooms will be for residences with a new shared bathroom. The third new basement bedroom with new bathroom will be for out of town guest. I plan on having the house manager live on-site in the existing two bedrooms downstairs. Their space will be walled off from the residences space.

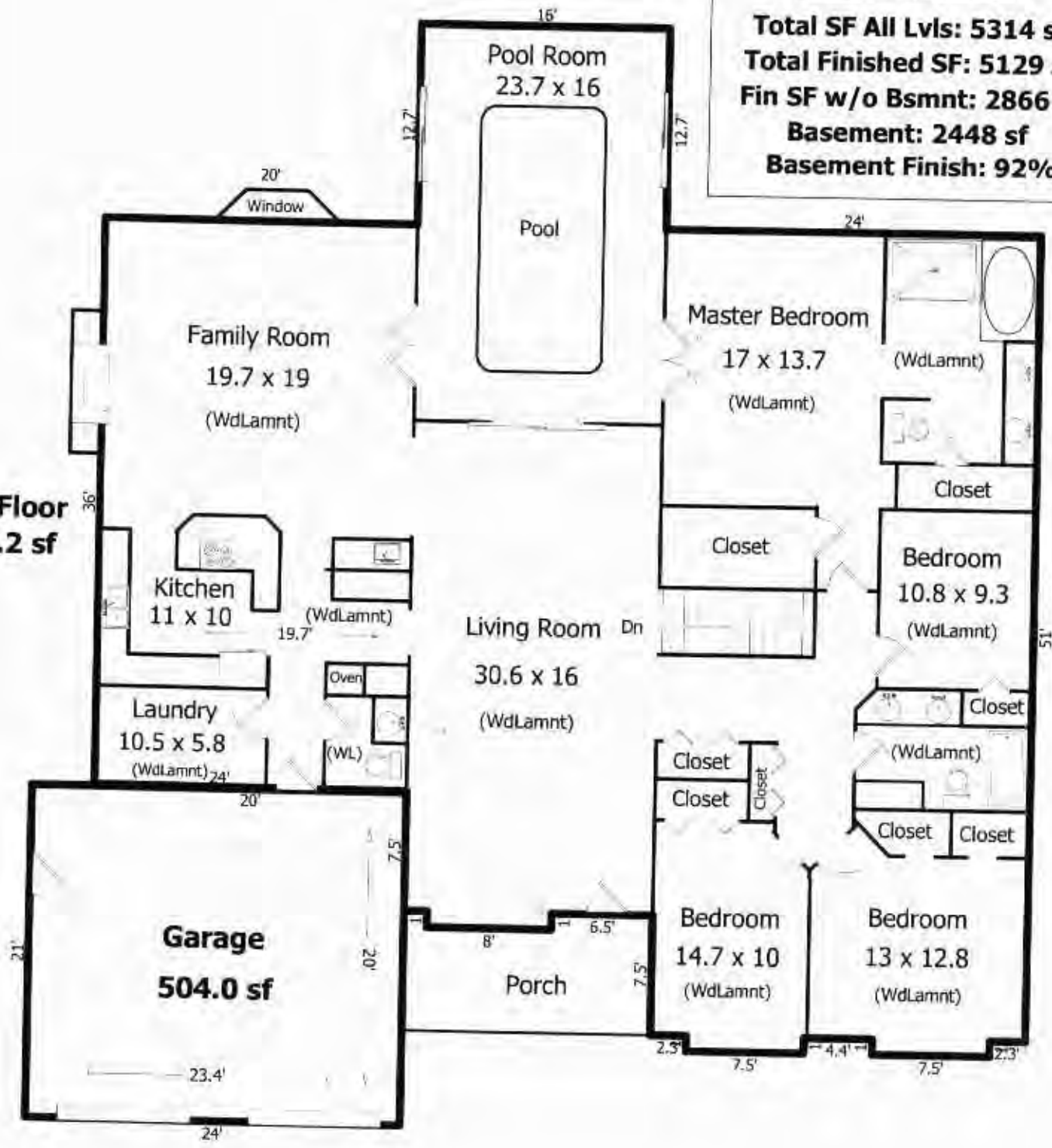
I will also have a whole house sprinkler system installed per state requirements. I will not be changing the footprint of the existing house.

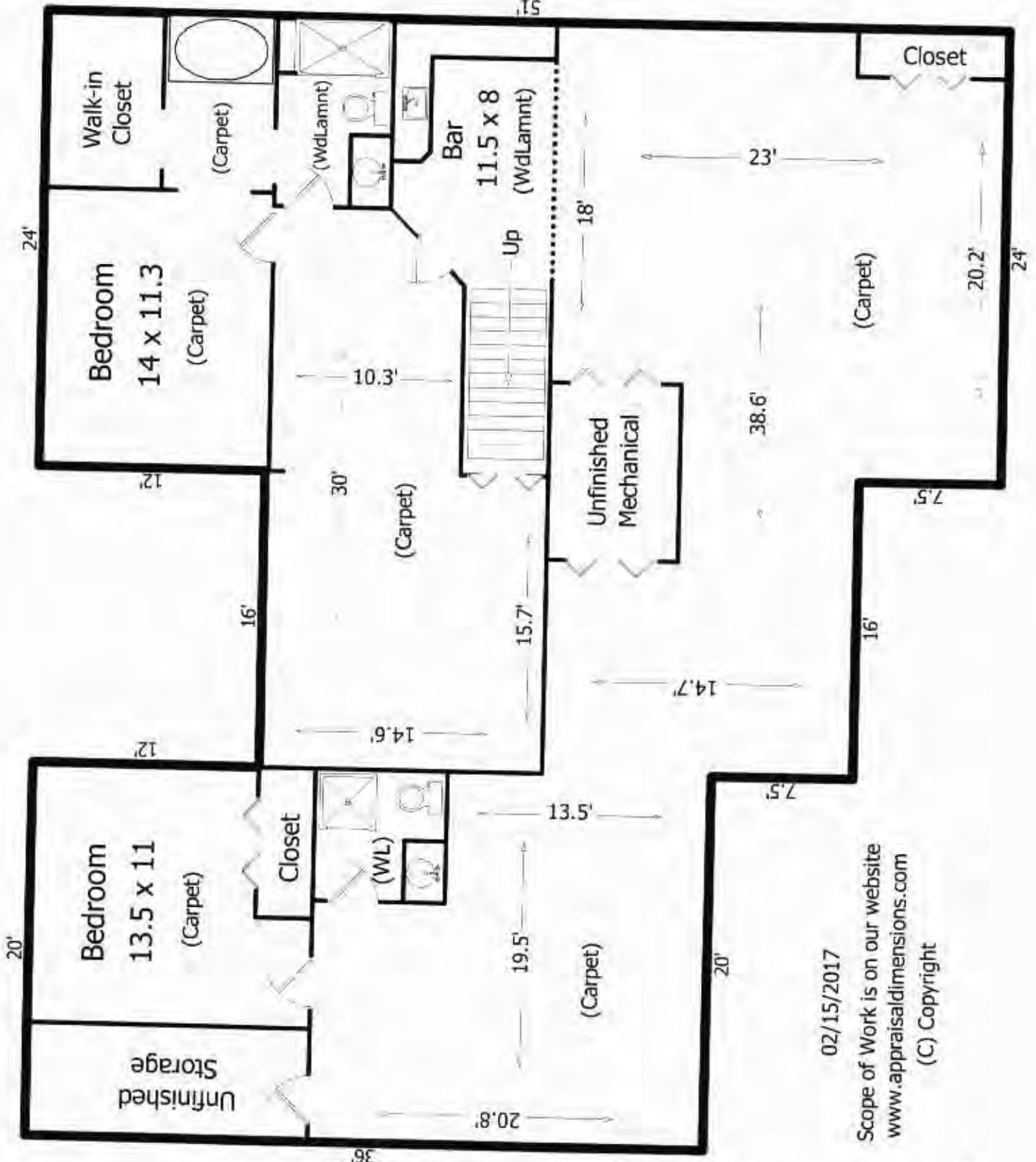
There are plenty of parking space available. The circular driveway can hold 2-3 cars. Same side off-street parking there are spaces for 3-4 cars. Across the street in front of Webber Middle School there are spaces for at least 4 cars.



Total SF All Lvl: 5314 sf
Total Finished SF: 5129 sf
Fin SF w/o Bsmnt: 2866 sf
Basement: 2448 sf
Basement Finish: 92%

First Floor
2866.2 sf





**Basement^{36'}
2448.0 sf**

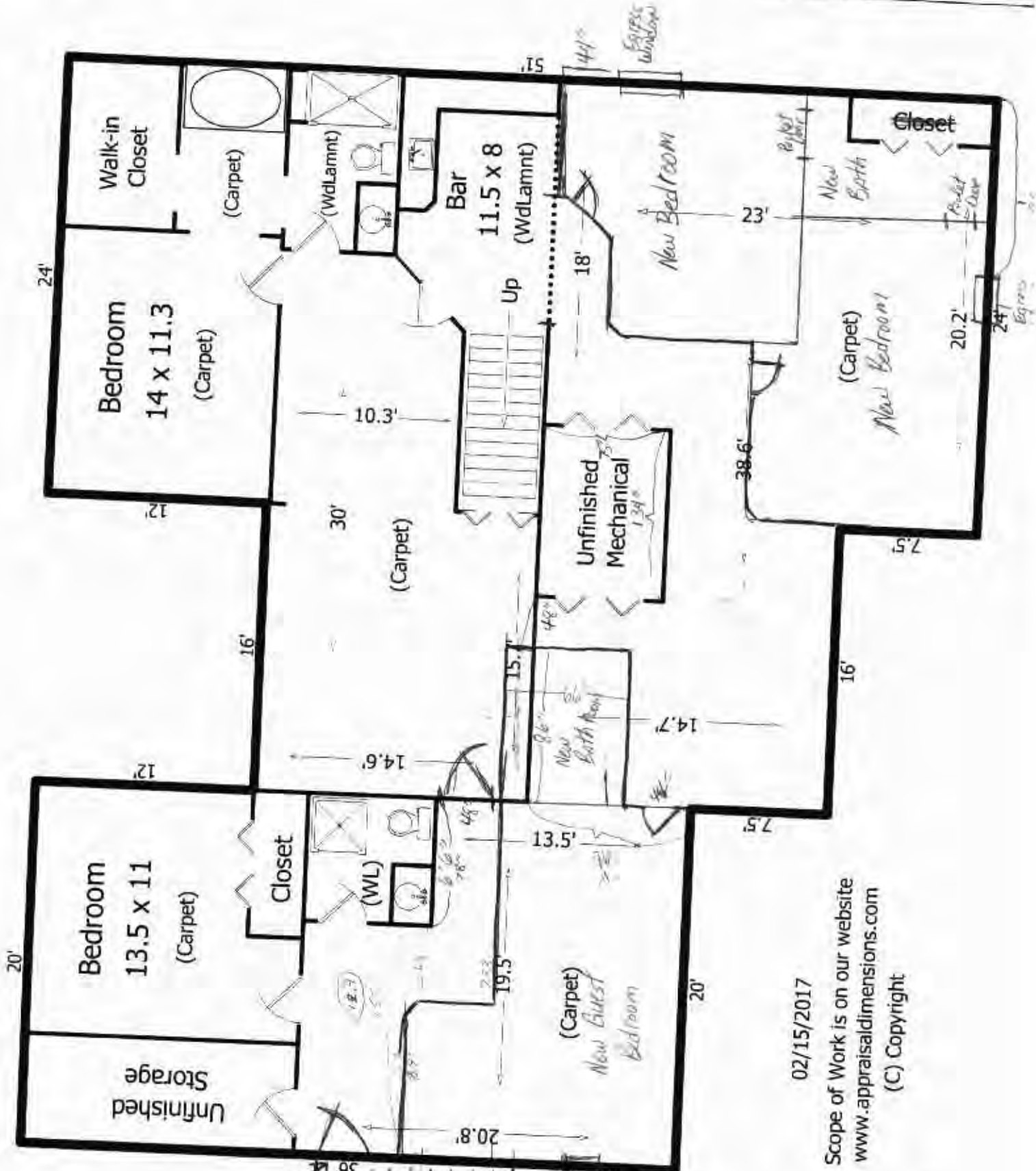
02/15/2017
 Scope of Work is on our website
www.appraisaldimensions.com
 (C) Copyright

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First Floor
2866.2 sf

*Walk-up
 Basement
 Entrance*

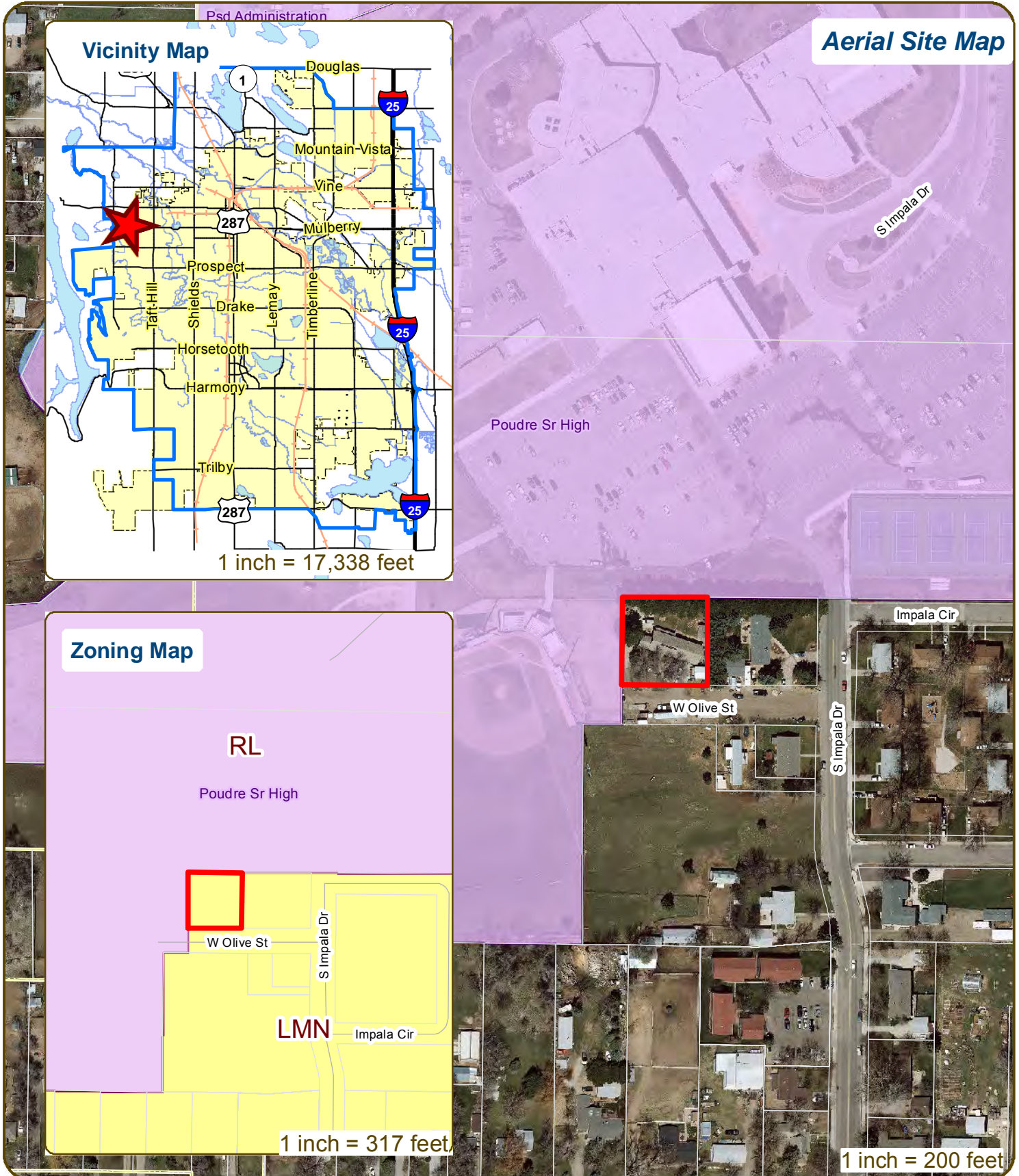




Walk-up Entrance
Basement
2448.0 sf

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2416 W Olive School



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TREEHOUSE

MONTESORI

our passion their future

2416 W. OLIVE ST.

CITY OF FORT COLLINS
CONCEPTUAL REVIEW



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Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) SARAH A. SCHOLZ, OWNER

CRYSTAL KOONS, OWNER

Business Name (if applicable) TREEHOUSE MONTESSORI SCHOOL

Your Mailing Address 2013 VALLEY FORGE AVE FORT COLLINS, CO 80526

Phone Number 970.658.6208 970.402.9451 Email Address sarah.treehousemontessori@gmail.com crystal.treehousemontessori@gmail.com

Site Address or Description (parcel # if no address) 2416 W. OLIVE ST. FORT COLLINS, CO 80521

Description of Proposal (attach additional sheets if necessary) CONVERT RESIDENCE INTO A PRESCHOOL. OUR MONTESSORI SCHOOL WOULD HOUSE CHILDREN AGED 18 MONTHS TO SEVEN YEARS OF AGE.

Proposed Use MONTESSORI SCHOOL Existing Use RESIDENCE

Total Building Square Footage 2744 S.F. Number of Stories 2 Lot Dimensions 17407 sq. feet

Age of any Existing Structures HOME BUILT 1932 - 85 YEARS OLD

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [x] No If yes, then at what risk is it?

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near Fort Collins — Larimer





9709 40390 1

N 0 20 E 133 7

S 89 36 E 383 8

9709 4030 2 7

S 89 30 E 130 2

970 9 4 0 7 3 0 2 0
2416

N 89 36 W 130 2

09

SE

FORT COLLINS

S 0 20 W 133 7

N 0 20 E 133 7

S 89 36 E 185 5

9709 4030 1 7 3 1 5

N 89 36 W 135 4

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W OLIVE ST

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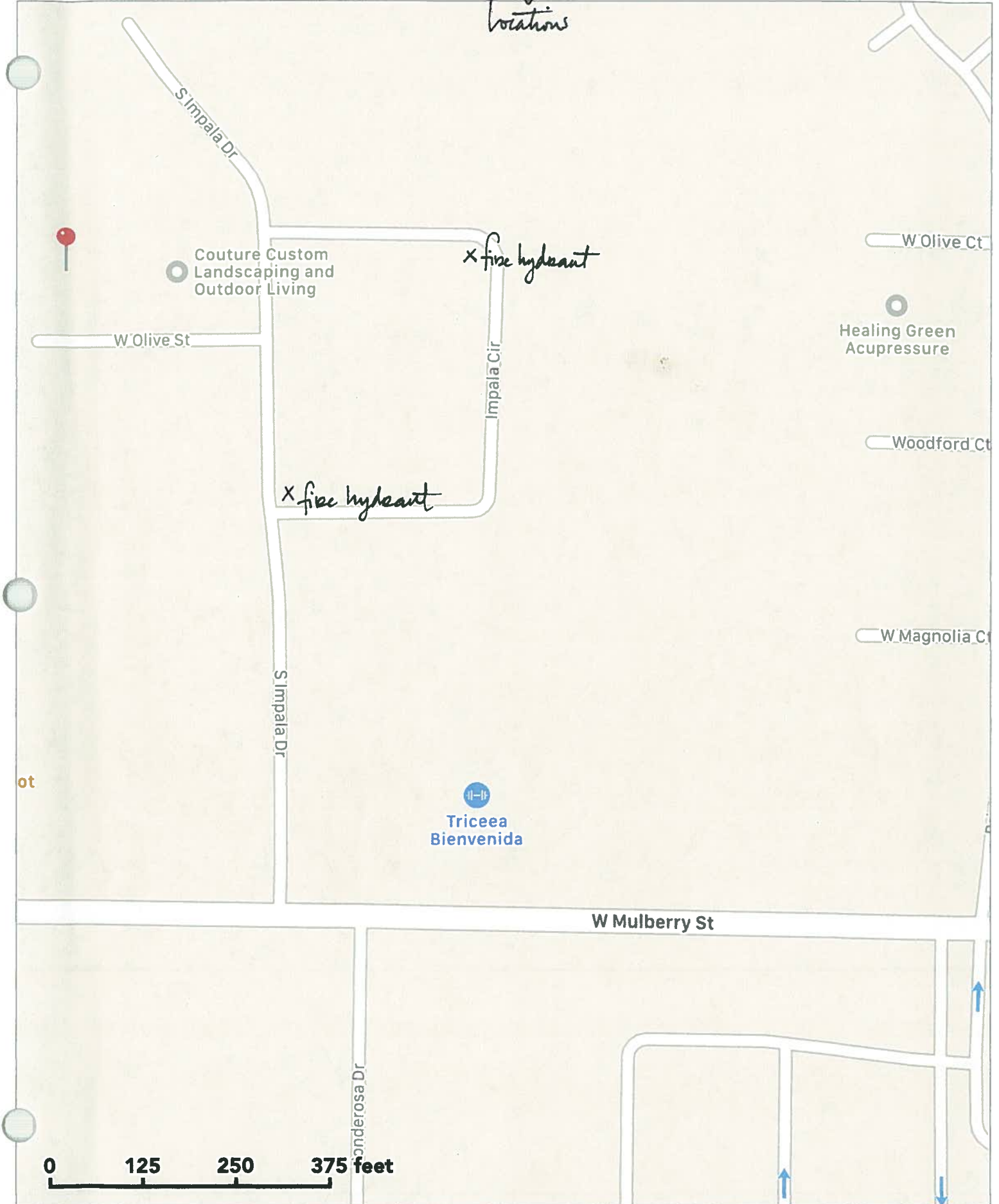
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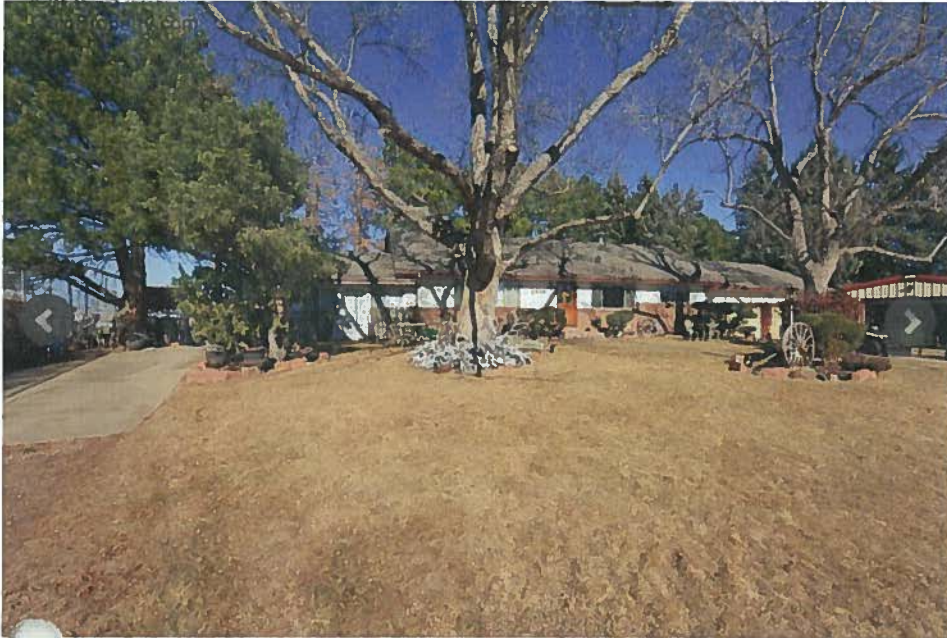
Fire Hydrant
Locations

near Fort Collins — Larimer



2416 W Olive St Fort Collins, CO 80521

SOURCE
MLS



1 / 40

5 Bed
2 Bath
2,744 SqFt

\$430,000

Taking Backup Offers
IRES MLS# 810765

Single Family Home built in 1932 with a 17,407 SqFt lot in Subdivision: Metes & Bounds

Rare Opportunity! Huge in-town lot, Ranch style home with In-Law basement apartment. Basement bedrooms non-conforming. 2 exterior basement entrances and 1 interior basement access. Granite kitchen counters. 2 Furnaces. Roof 2-3 Yrs Old. [Show More...](#)

[Visit Listing Website](#)

Virtual Tours: 1 2

REQUEST INFO

COMPARE
COMPARE



General Features

| | |
|------------------|--|
| Type | In-Law Area, Legal, Conforming |
| Style | 1 Story/Ranch |
| Baths | 2 Full |
| Acreage | 0.4 Acres |
| Lot Size | 17,407 SqFt |
| Zoning | LMN |
| Total | 2,744 SqFt (\$157/SF) |
| Finished | 2,594 SqFt (\$166/SF) |
| Basement | 90%+ Finished Basement, Walk-out Basement, Built-In Radon, Radon Test Available |
| Garage | 3 Space(s) |
| Garage Type | Attached |
| Year Built | 1932 |
| New Construction | No |
| Construction | Wood/Frame, Vinyl Siding |

Room Sizes

| | |
|----------------|----------------------|
| Master Bedroom | 11 x 12 (Main Floor) |
| Bedroom 2 | 11 x 13 (Main Floor) |
| Bedroom 3 | 10 x 12 (Basement) |
| Bedroom 4 | 10 x 12 (Basement) |
| Bedroom 5 | 7 x 10 (Basement) |
| Kitchen | 12 x 13 (Main Floor) |
| Living Room | 13 x 21 (Main Floor) |
| Office Study | 8 x 9 (Main Floor) |
| Dining Room | 10 x 13 (Main Floor) |
| Laundry Room | 11 x 13 (Main Floor) |
| Family Room | 15 x 15 (Main Floor) |
| Rec. Room | 11 x 22 (Basement) |

Note: All room dimensions, including square footage data, are approximate and must be verified by the buyer.

Outdoor Features

Storage Buildings, Oversized Garage

Listing Agent



Bill Webster
(970)229-0548
[Visit Website](#)

Listing Office



RE/MAX Alliance-FTC South
(970)226-3990

Cooling Central Air Conditioning
Heating Forced Air, Wood Stove
Roof Composition Roof

[Visit Website](#)

[VIEW OUR INVENTORY](#)

Lot Features

Cul-De-Sac, Evergreen Trees, Deciduous Trees, Level Lot, House/Lot Faces S

Design Features

Separate Dining Room, Washer/Dryer Hookups, Wood Floors

Inclusions

Window Coverings, Electric Range/Oven, Dishwasher, Microwave, Garage Door Opener, Disposal, Smoke Alarm(s)

Walkscore

WalkScore®

Fireplace

Freestanding Fireplace, Family/Recreation Room Fireplace

Taxes & Fees

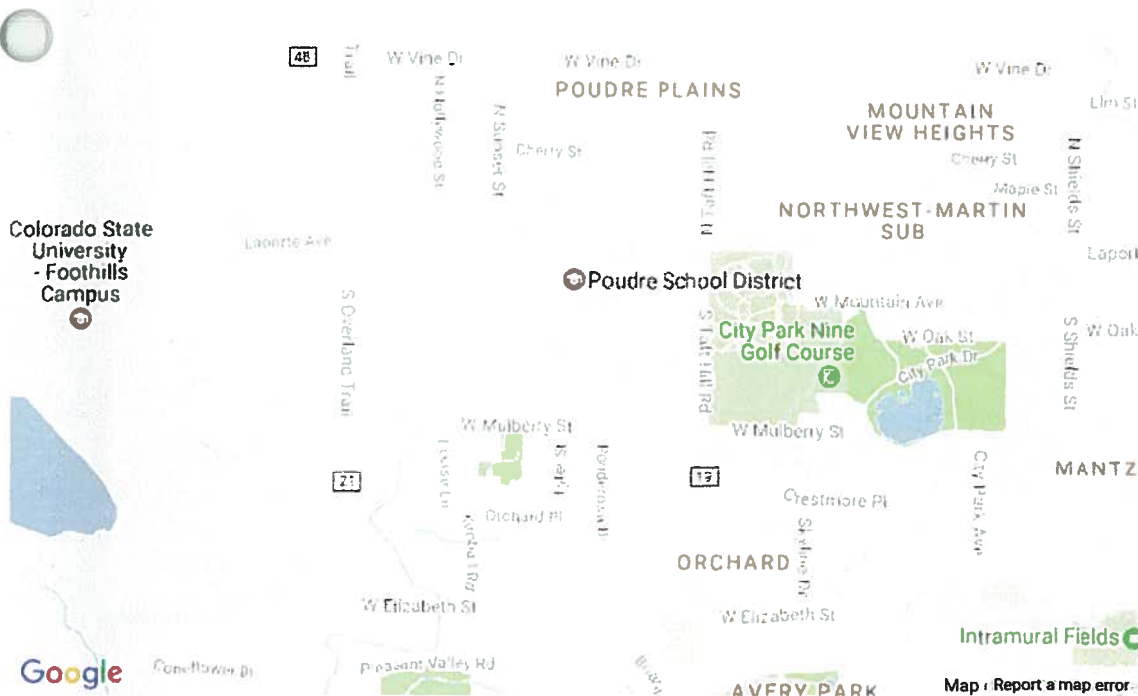
Taxes \$1,007
Tax Year 2015

Schools

School District Poudre
Elementary Irish
Middle/Jr High Lincoln
Senior High Poudre

Driving Directions

Mulberry and Taft Hill West to Impala, North to W Olive, West to property

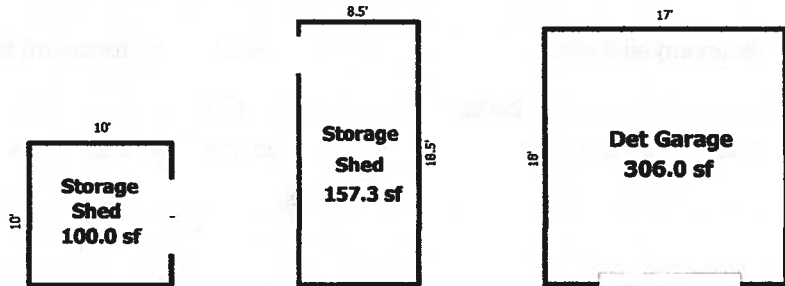
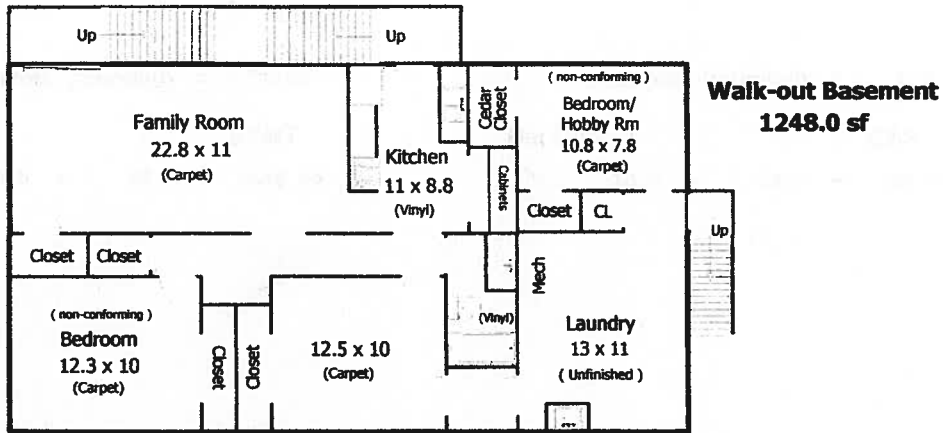
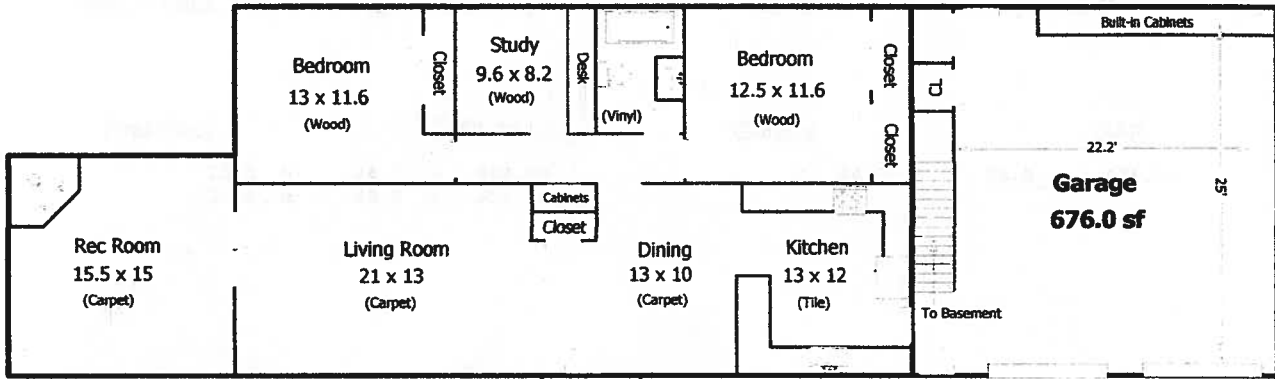


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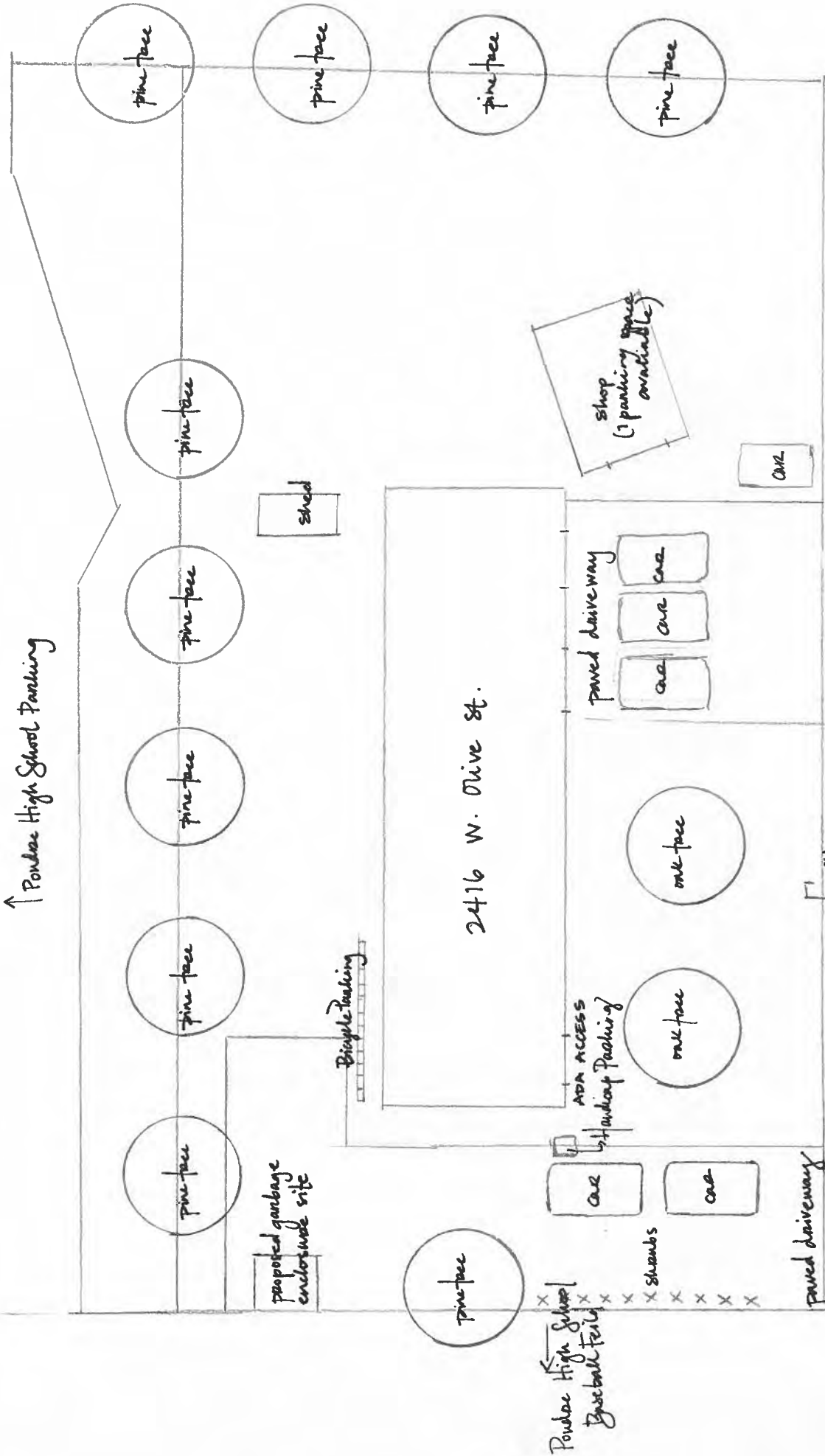
01/26/2017
 Agent: Bill Webster
 Scope of Work is on our website
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2416 W Olive St
Total SF All Lvl: 2744 sf
Total Finished SF: 2589 sf
Fin SF w/o Bsmnt: 1496 sf
Basement: 1248 sf
Basement Finish: 88%

First Floor
1496.0 sf



↑ Powder High School Parking



Closest Neighbor
315 Impala Dr.

↓ empty lot

2416 W. Olive Fort Collins, CO



front of house

2416 W. Olive Fort Collins, CO



front of house

2416 W. Olive Fort Collins, CO



"office" entrance, possible ADA
entrance

2416 W. Olive Fort Collins, CO



"office" entrance, possible ADA
entrance

2416 W. Olive Fort Collins, CO



front yard of property

2416 W. Olive Fort Collins, CO



west side of house

2416 W. Olive Fort Collins, CO



west side of house concrete pad

2416 W. Olive Fort Collins, CO



northside of property

2416 W. Olive Fort Collins, CO



northside of property

2416 W. Olive Fort Collins, CO



north side of house, garage rear
entrance

2416 W. Olive Fort Collins, CO



north side of house

2416 W. Olive Fort Collins, CO



north west side of house

2416 W. Olive Fort Collins, CO



downstairs family room entrance,
drain located in corner

2416 W. Olive Fort Collins, CO



downstairs kitchen entrance, drain
behind broom

2416 W. Olive Fort Collins, CO



northside "ditch"

2416 W. Olive Fort Collins, CO



east side of house

2416 W. Olive Fort Collins, CO



east side of house

2416 W. Olive Fort Collins, CO



east side of house

2416 W. Olive Fort Collins, CO



garage and garage entrance

2416 W. Olive Fort Collins, CO



front of house, garage entrance

2416 W. Olive Fort Collins, CO



window wells, front of house, east of
front door

2416 W. Olive Fort Collins, CO



shop with electricity (east of house)

2416 W. Olive



exterior, entrance and family room

2416 W. Olive



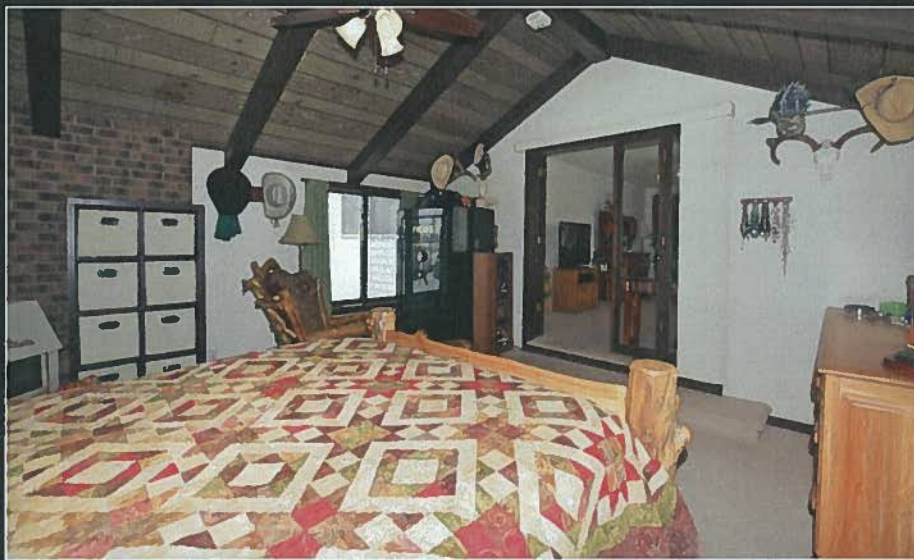
kitchen, front entrance

2416 W. Olive



upstairs kitchen

2416 W. Olive



"office"

2416 W. Olive Fort Collins, CO



steps down to "office area"

2416 W. Olive



family room, dining area

2416 W. Olive



downstairs bathroom, downstairs
bedroom 2

2416 W. Olive



upstairs bedroom 1, 2

2416 W. Olive



downstairs family room, upstairs
bedroom

2416 W. Olive



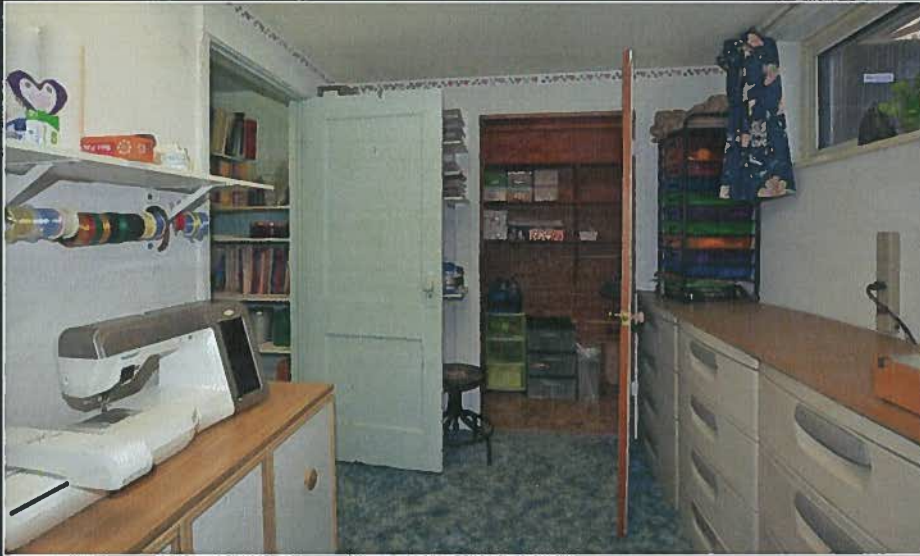
downstairs bedroom 1

2416 W. Olive



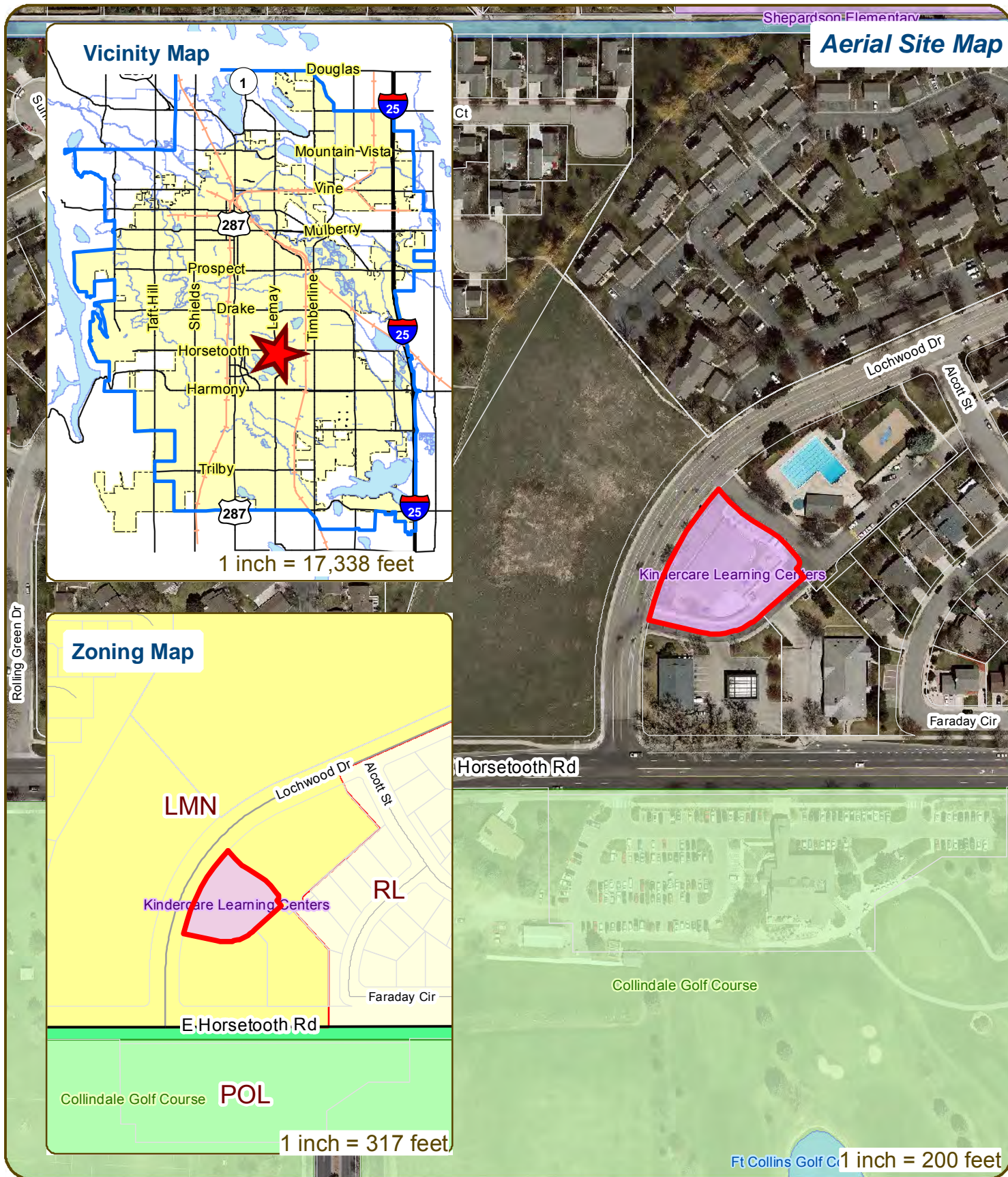
downstairs kitchen, family room

2416 W. Olive



laundry room and craft room

3506 Lochwood Dr Office



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Felipe Lopez / Architect

Business Name (if applicable) Tim Owens DDS

Your Mailing Address 1422 Delgany St. Suite LL1, Denver, CO 80202

Phone Number 720.946.3228 Email Address felipe@joearchitect.com

Site Address or Description (parcel # if no address) 3506 Lockwood Dr., Fort Collins, CO 80525

Description of Proposal (attach additional sheets if necessary) Tenant finish on existing 1 story building with some exterior modifications. Roof to be raised 3', new gabled roof structure to be introduced, repairs to damage of existing landscape and inclusion of new exterior windows to be made.

Proposed Use Dental Office Existing Use Day Care Center

Total Building Square Footage 6260 S.F. Number of Stories 1 Lot Dimensions 107'x58.5'

Age of any Existing Structures Surrounding buildings were built in 1988

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

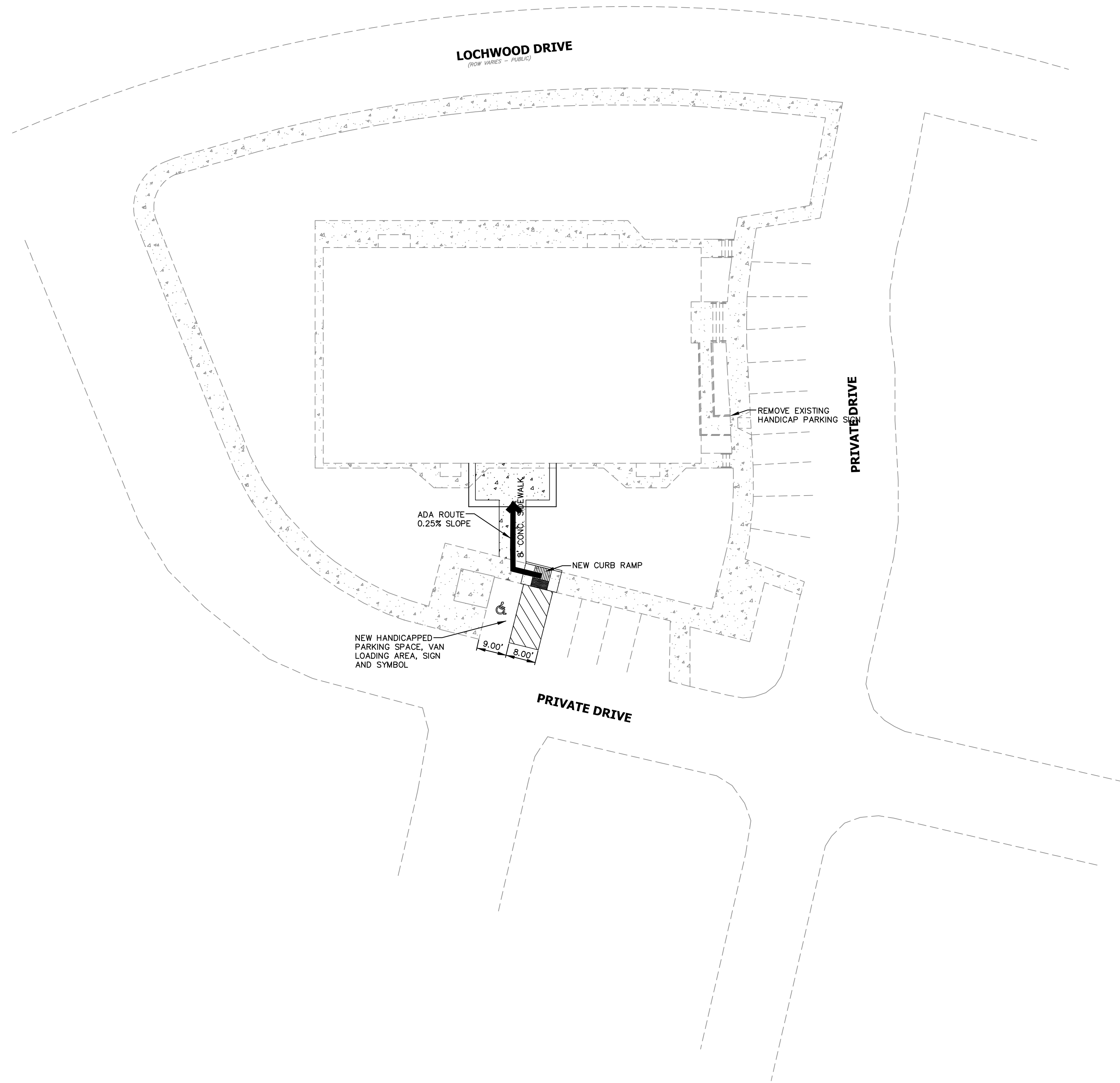
Is your property in a Flood Plain? [] Yes [x] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area None S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change? Attached as-builts of



KEYED NOTES

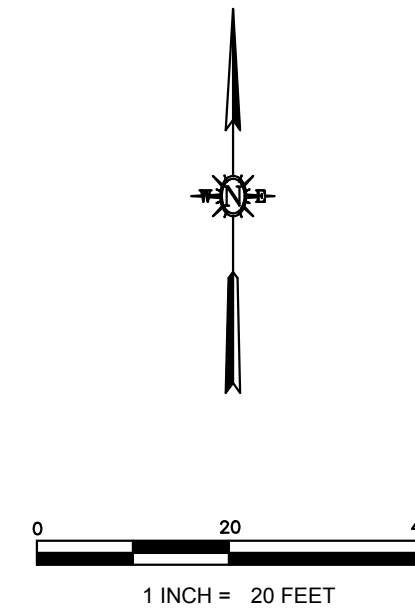
- 4" CLASS B CONCRETE SIDEWALK, WIDTH VARIES.
- ACCESSIBLE CURB RAMP TYPE 4, SEE CITY AND COUNTY OF DENVER STANDARD 7.4 ON SHEET C1.1.
- WHITE PAINT PAVEMENT STRIPING PER CDOT SPECIFICATIONS.
- AREA TO MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS. SEE SHEET C2 FOR ELEVATIONS.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (1) POST AND SIGNS FOR HANDICAP PARKING SIGNS. SEE DETAIL C1.1-02 ON SHEET C1.1.

SITE WORK NARRATIVE

- NEW CONCRETE SIDEWALKS AND A RELOCATED HANDICAPPED PARKING SPACE WILL BE DESIGNED TO ACCOMMODATE THE NEW BUILDING ENTRANCE.
- A HANDICAPPED ACCESSIBLE ROUTE WILL BE PROVIDED FROM THE PARKING SPACE TO THE BUILDING ENTRANCE.
- EXISTING FENCES AND CONCRETE AREAS WILL BE REMOVED. NEW LANDSCAPING WILL BE INSTALLED.
- DRAINAGE MODIFICATIONS DUE TO OTHER SITE IMPROVEMENTS WILL BE DESIGNED IF NEEDED.

BENCHMARK INFORMATION

- PROJECT BENCHMARK:
- SITE BENCHMARK:



Competitive Edge Engineering
 Development Services, Project Management, Consulting
 P.O. Box 44036
 Denver, Colorado 80201
 303.919.8775
 www.CompetitiveEdgeEngineering.com

Tim Owens DDS
 3506 Lockwood Dr.
 Fort Collins, CO 80525

| REVISIONS | | |
|-----------|------|-------------|
| # | Date | Description |
| | | |

| | |
|-------------|-----------|
| DATE: | 11/4/16 |
| PROJECT NO: | 2016-05 |
| DRAWN BY: | BLG |
| ISSUED FOR: | Appraisal |

Site Plan
 C1

LOCKWOOD DRIVE

Tim Owens DDS

3506 Lockwood Dr.
Fort Collins, CO 80525

**FOR
COORDINATION
PURPOSES ONLY**
**NOT FOR
CONSTRUCTION**

REVISIONS

| # | Date | Description |
|---|------|-------------|
| | | |

DATE: 07 March 2017

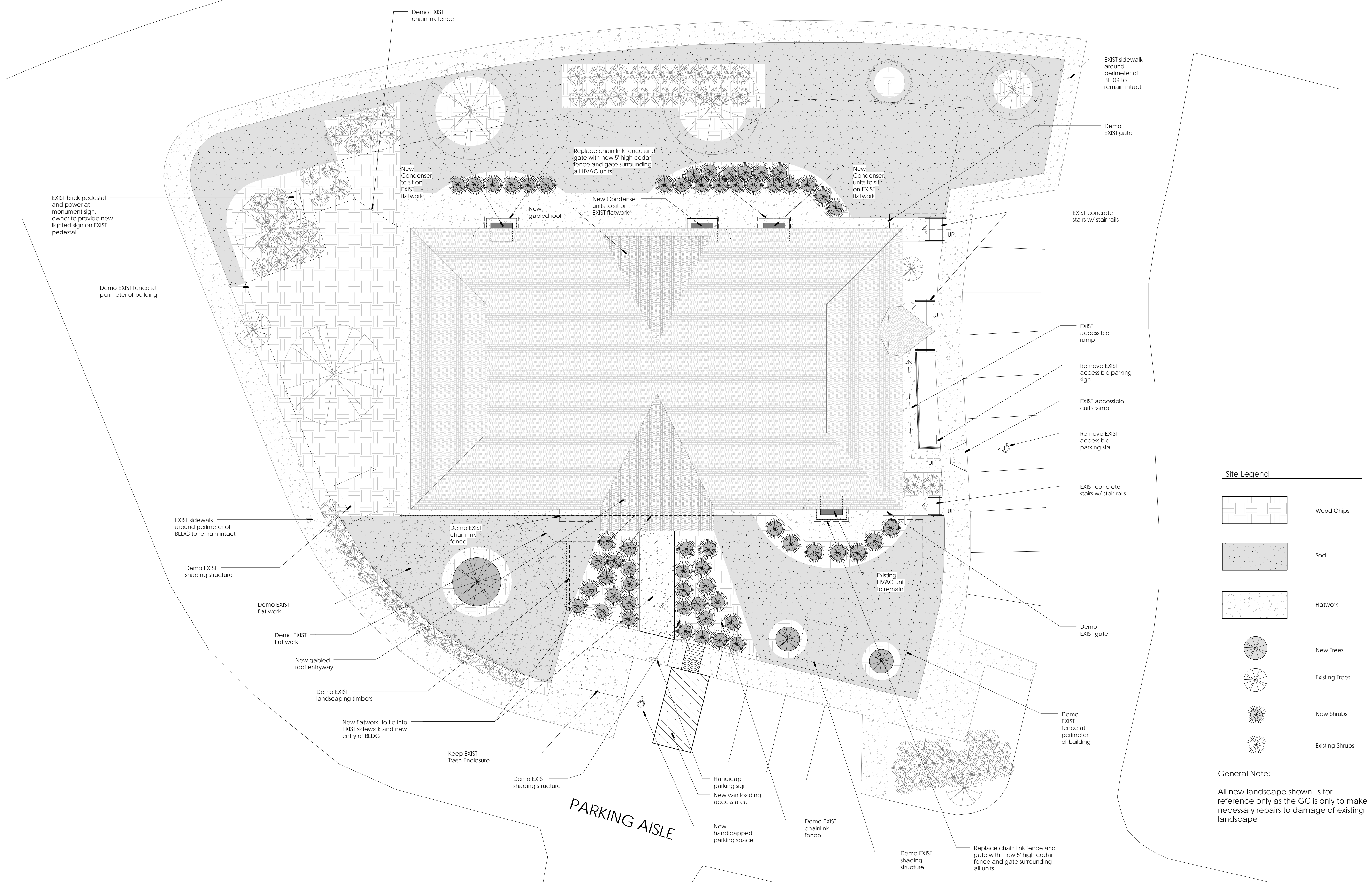
PROJECT NO: 16205.0

DRAWN BY: FL

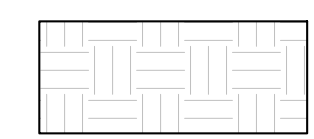


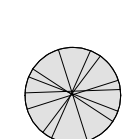
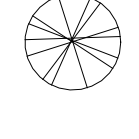
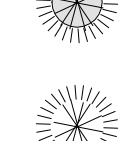
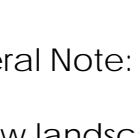
ISSUED FOR: Preliminary Pricing

Architectural Site Plan

A 1.5



Site Legend

-  Wood Chips
-  Sod
-  Flatwork
-  New Trees
-  Existing Trees
-  New Shrubs
-  Existing Shrubs

General Note:

All new landscape shown is for reference only as the GC is only to make necessary repairs to damage of existing landscape

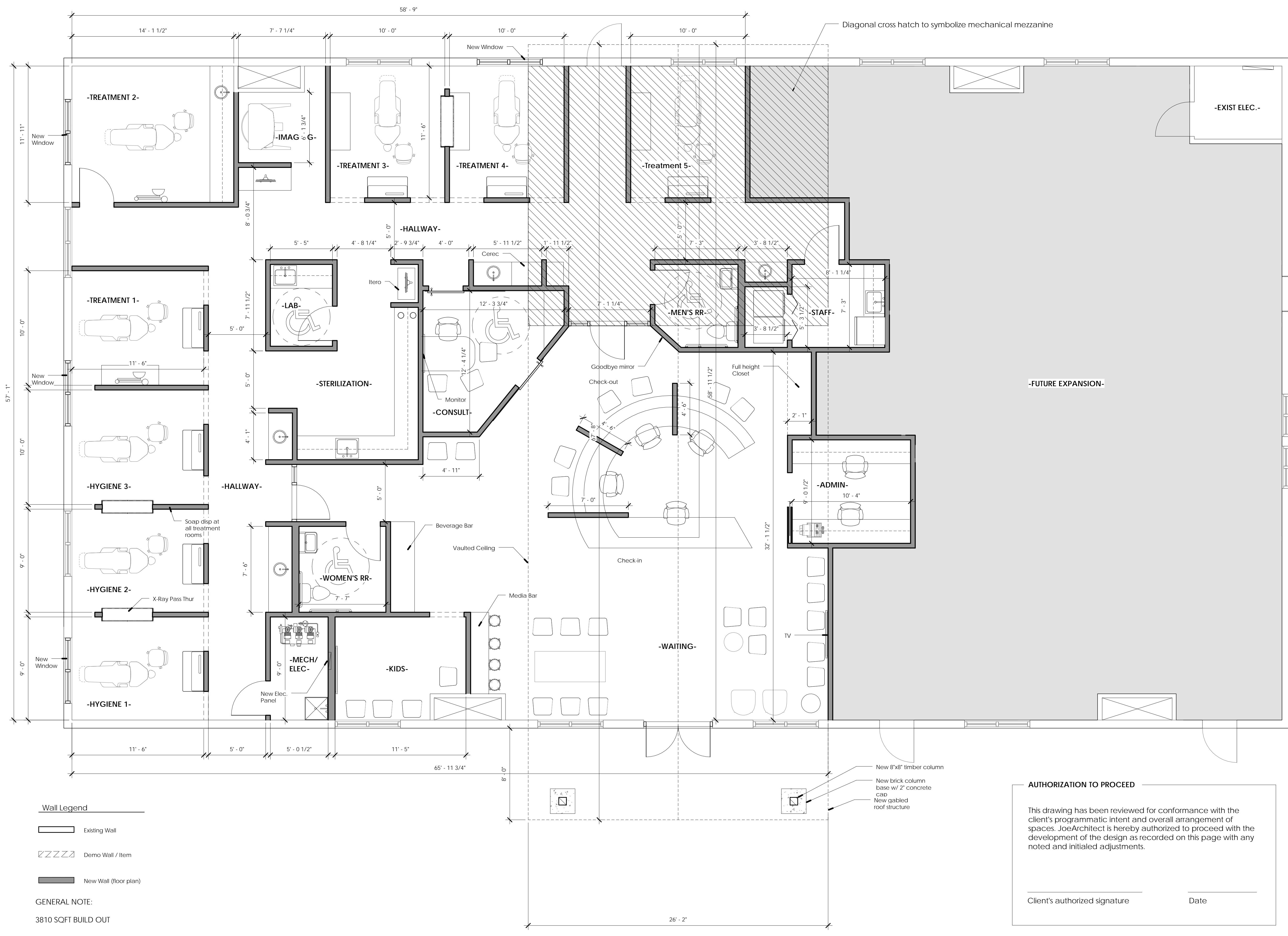
Tim Owens DDS
3506 Lockwood Dr.
Fort Collins, CO 80525

FOR COORDINATION PURPOSES ONLY
NOT FOR CONSTRUCTION

| REVISIONS | | |
|-----------|------|-------------|
| # | Date | Description |
| | | |

| | |
|--------------|---------------------|
| DATE: | 07 March 2017 |
| PROJECT NO.: | 16205.0 |
| DRAWN BY: | FL |
| ISSUED FOR: | Preliminary Pricing |

Floor Plan
A 2.0



- Wall Legend**
- Existing Wall
 - Demo Wall / Item
 - New Wall (floor plan)

GENERAL NOTE:
3810 SQFT BUILD OUT

AUTHORIZATION TO PROCEED

This drawing has been reviewed for conformance with the client's programmatic intent and overall arrangement of spaces. JoeArchitect is hereby authorized to proceed with the development of the design as recorded on this page with any noted and initialed adjustments.

Client's authorized signature

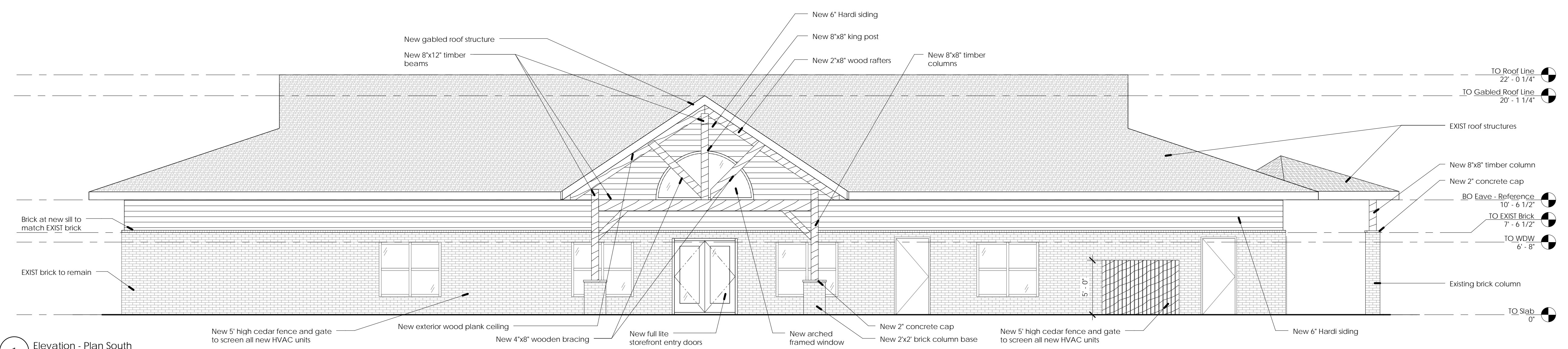
Date

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PURPOSES ONLY**
**NOT FOR
CONSTRUCTION**

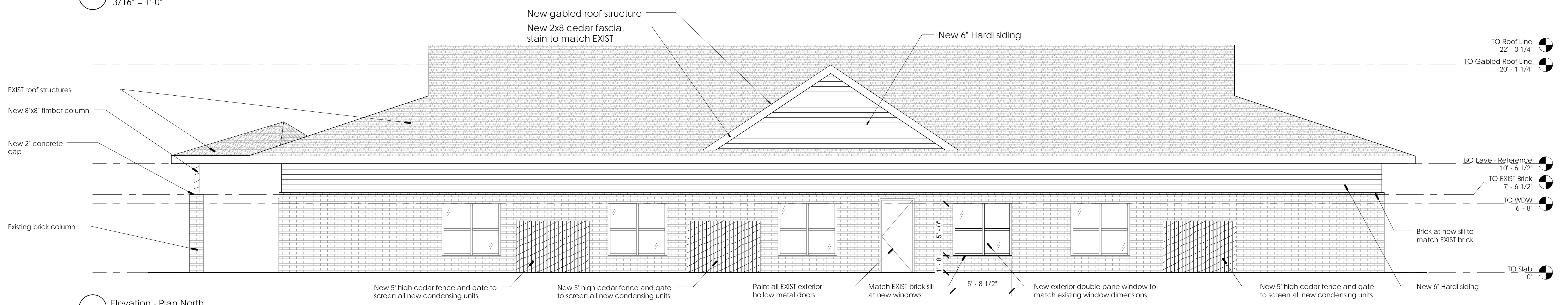
| REVISIONS | | |
|-----------|------|-------------|
| # | Date | Description |
| | | |

| | |
|-------------|---------------------|
| DATE: | 07 March 2017 |
| PROJECT NO: | 16205.0 |
| DRAWN BY: | FL |
| ISSUED FOR: | Preliminary Pricing |

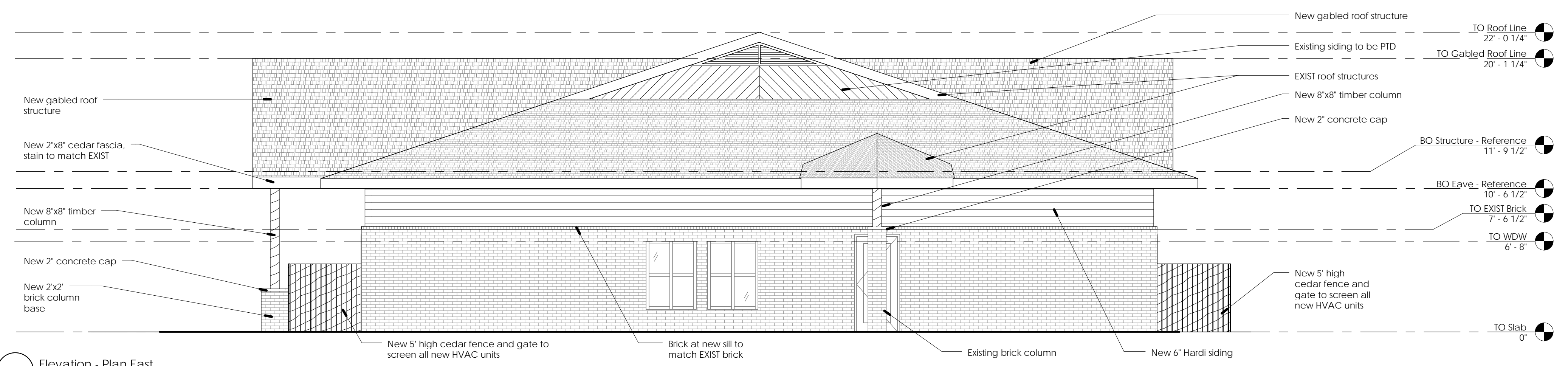
Exterior Building Elevations
A 3.0



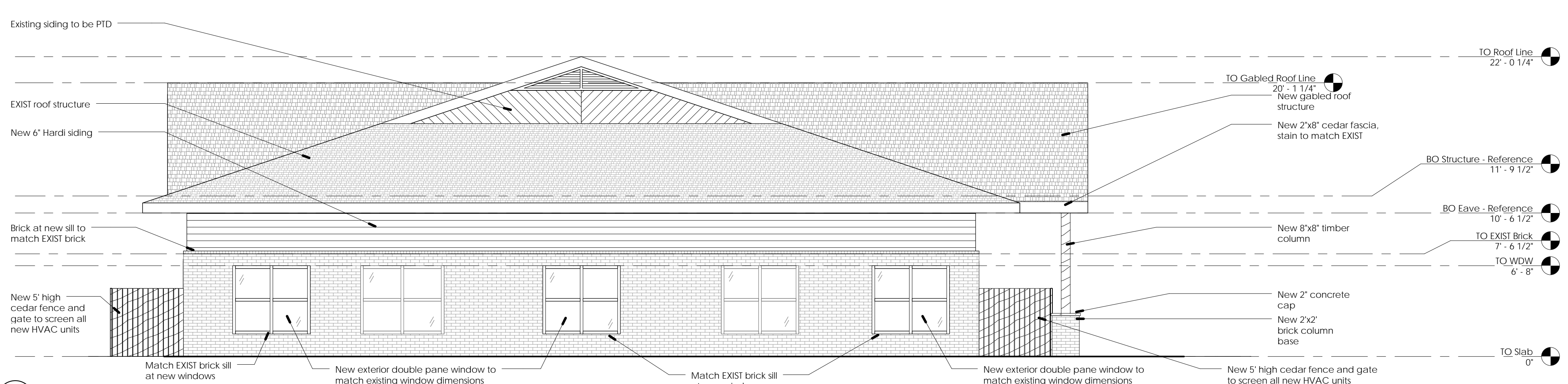
1 Elevation - Plan South
3/16" = 1'-0"



2 Elevation - Plan North
3/16" = 1'-0"



3 Elevation - Plan East
3/16" = 1'-0"

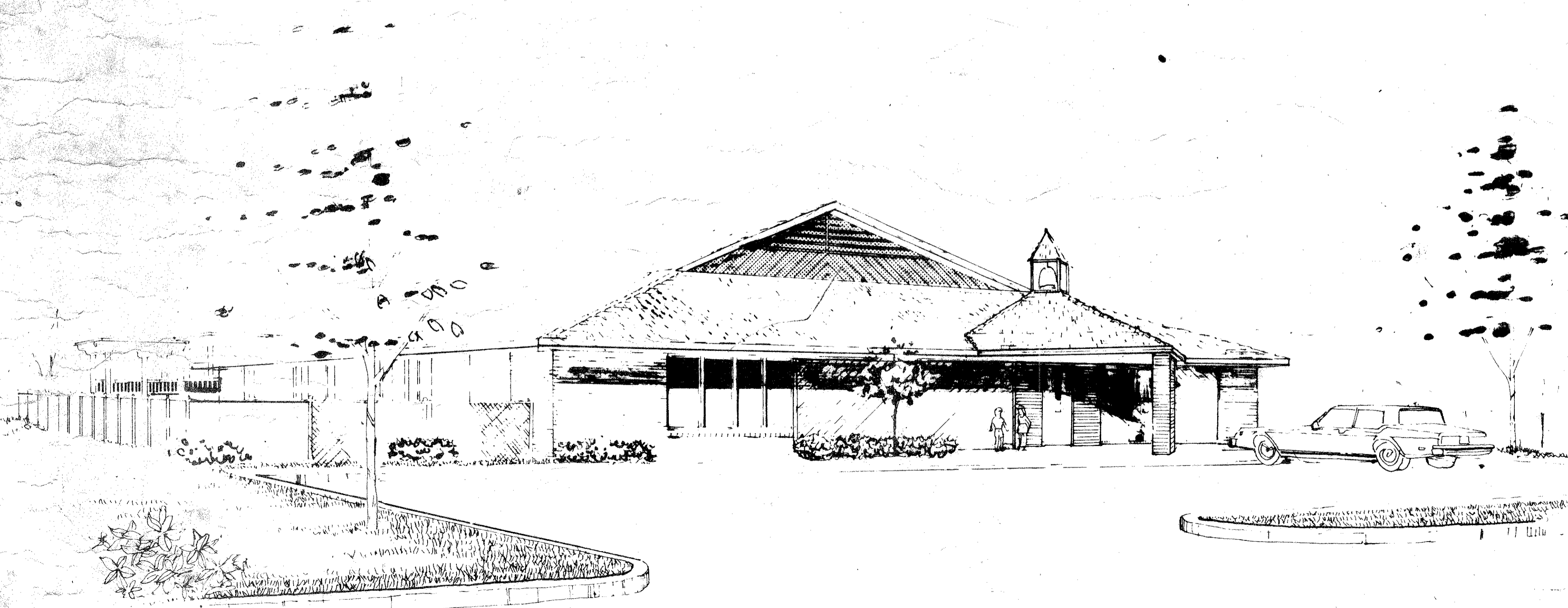


4 Elevation - Plan West
3/16" = 1'-0"

A NEW BUILDING FOR: KINDER-CARE LEARNING CENTERS INC.

KINDERPLEX - KP - 135

As Built for
KC #1231



NOTE:
THIS RENDERING IS FOR ARTISTIC IMPRESSION ONLY. SEE FLOOR
PLAN AND ELEVATIONS FOR ACTUAL BUILDING APPEARANCE.

FOR CONSTRUCTION
DELIVERED FEB 0 5 1988

SHEET INDEX

| | |
|------|---------------------------------------|
| F-1 | FOUNDATION PLAN |
| A-1 | FLOOR PLAN |
| A-2 | ROOM FINISH SCHEDULE & WINDOW DETAILS |
| A-3 | DOOR SCHEDULE & SECTIONS |
| A-4 | BUILDING ELEVATIONS & DETAILS |
| A-5 | INTERIOR ELEVATIONS |
| A-6 | SECTIONS |
| A-7 | FRAMING PLAN |
| A-8 | KITCHEN PLAN & DETAILS |
| A-9 | MILLWORK SCHEDULE & DETAILS |
| A-10 | SPECIFICATIONS |
| A-11 | SPECIFICATIONS |
| A-12 | SPECIFICATIONS |
| M-1 | HVAC FLOOR PLAN |
| M-2 | MECHANICAL SPECIFICATIONS & SCHEDULES |
| P-1 | PLUMBING PLAN |
| P-2 | PLUMBING STACKS & RISERS |
| P-3 | PLUMBING SPECIFICATIONS |
| E-1 | ELECTRICAL DETAILS |
| E-2 | LIGHTING PLAN |
| E-3 | POWER PLAN |

RECEIVED JUN 27 1988
**AS-BUILT
SET OF
ARCHITECTURAL
DRAWINGS**

BUILDING SHALL INCORPORATE THE FOLLOWING:

| | |
|------------------------|---------------------------------|
| 1. HEATING SOURCE: | NATURAL GAS (PSCD) |
| 2. KITCHEN HOOD: | RESIDENTIAL (NO GREASE COOKING) |
| 3. KITCHEN APPLIANCES: | RESIDENTIAL |
| 4. (SPRINKLER) | N/A |
| 5. (GREASE TRAP) | N/A (NO GREASE COOKING) |
| 6. (SPECIAL) | N/A |

NOTE: GENERAL CONTRACTOR IS REQUIRED TO HOLD A
"CLASS C" CONTRACTOR'S LICENSE AS ISSUED
BY THE CITY OF FORT COLLINS, COLORADO

THIS PROJECT IS DESIGNED AND SHALL BE CONSTRUCTED IN CONFORMANCE
WITH THE FOLLOWING CODES:

| | |
|-----------------------------|--------------|
| THE UNIFORM BUILDING CODE | 1985 EDITION |
| THE UNIFORM MECHANICAL CODE | 1985 EDITION |
| THE UNIFORM PLUMBING CODE | 1985 EDITION |
| NATIONAL ELECTRIC CODE | 1987 EDITION |

BUILDING INFORMATION

| | |
|--------------------|---------------|
| GROSS FLOOR AREA: | 6260 s.q. ft. |
| BUILDING HEIGHT: | ONE STORY |
| USE GROUP: | E-3 |
| CONSTRUCTION TYPE: | II-N |
| CHILD CAPACITY: | 128 CHILDREN |

THE PROJECT SHALL MEET THE REQUIREMENTS OF THE HEALTH DEPARTMENT
AND FIRE MARSHALL, AND SHALL BE CONSTRUCTED IN CONFORMANCE WITH
STATE AND LOCAL ENERGY REQUIREMENTS.

KINDER CARE LEARNING CENTERS NO. 3446

PLANS KP-135 KINDERPLEX STATE CO. BLDG. CODE UBC

LOCATION 3506 LOCKWOOD DRIVE, FORT COLLINS, CO 80524

STREET _____

CITY OR TOWNSHIP _____

STATE _____

SIGNATURES _____ **DATE** _____

K.C. CONSTRUCTION DEPT. REPRESENTATIVE JOHN CHURCO/DON WEBER

GENERAL CONTRACTOR _____

OWNER _____

ARCHITECT ARCHITECTURAL ALLIANCE

MK 1 SUMMER CYCLE '86 UPDATE

| | |
|---------|-------------------|
| 11/1/87 | GENERAL REVISIONS |
| 1/10/88 | GENERAL REVISIONS |

Kinder Care Learning Centers, Inc.
2400 PRESIDENTS DRIVE
FORT COLLINS, CO #3446
Montgomery, A. L. H. H. H.
(303) 277-5090

PLAN REVIEW AND CERTIFICATION BY:
ARCHITECTURE ONE
PROFESSIONAL ARCHITECTS
1000 13TH STREET
FORT COLLINS, CO 80524

STATE OF COLORADO
ALAN L. HANSEN
B-146
JOHN R. FRESHMAN
B-1746
LICENSED ARCHITECTS

Drawing Title
TITLE SHEET

KP-135 UBC

Commission No. _____

Date Issued _____

Date Revision _____

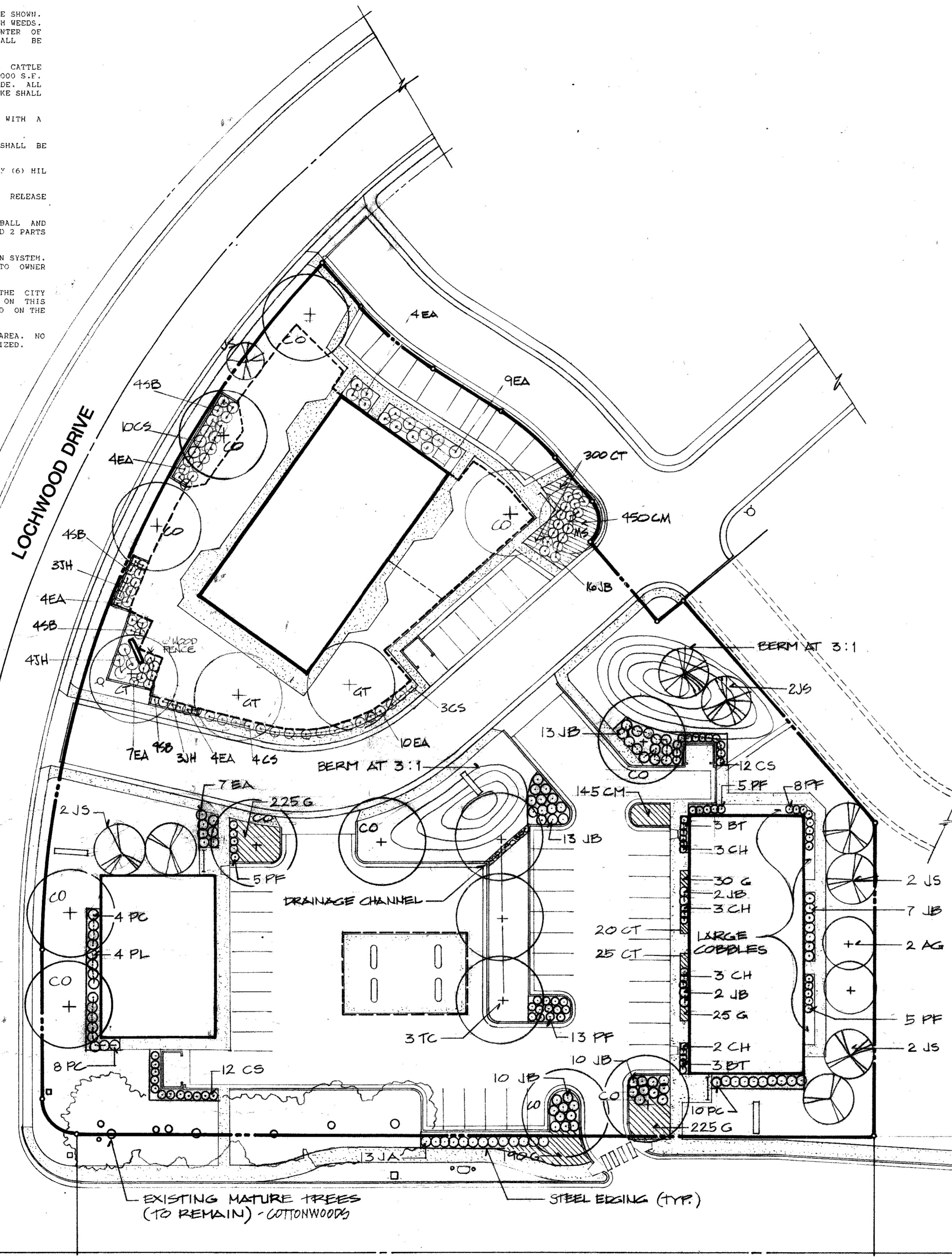
Drawing Number **T-1**

RECEIVED
FEB 08 1988
John Churco
Don Weber

GENERAL NOTES

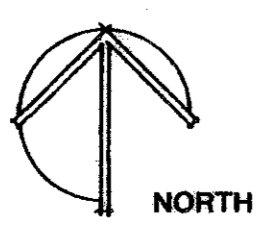
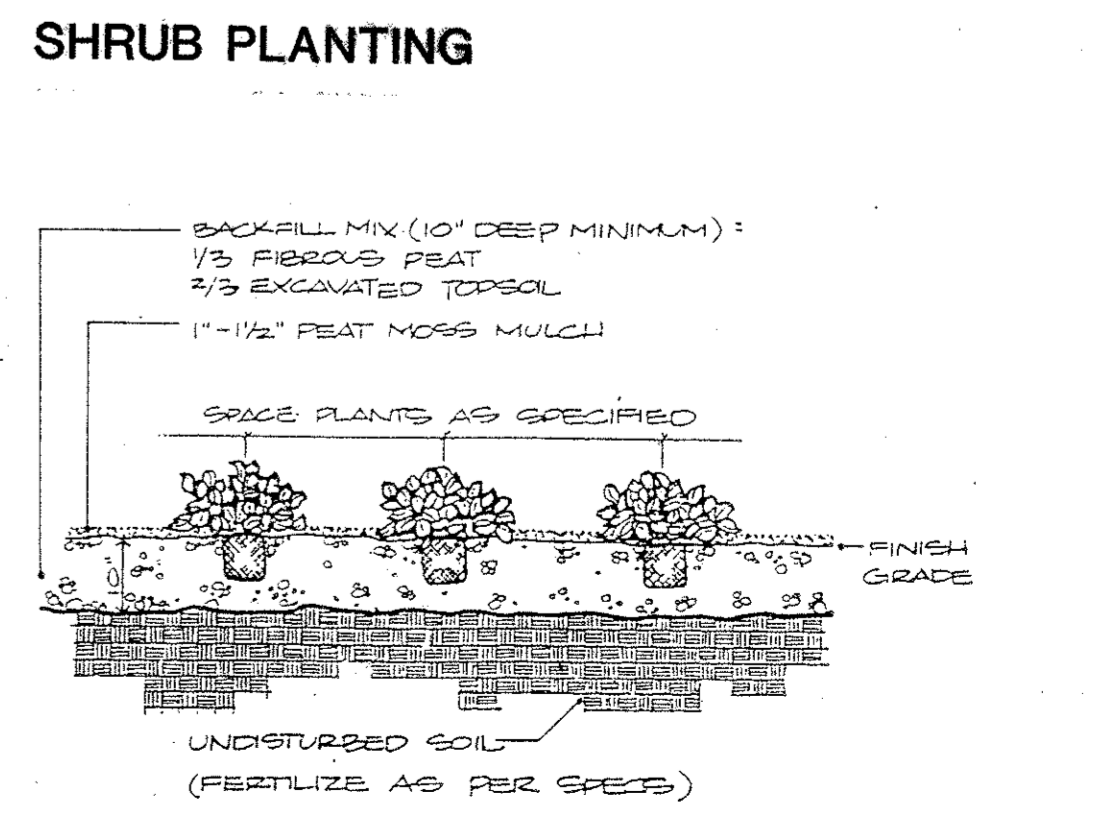
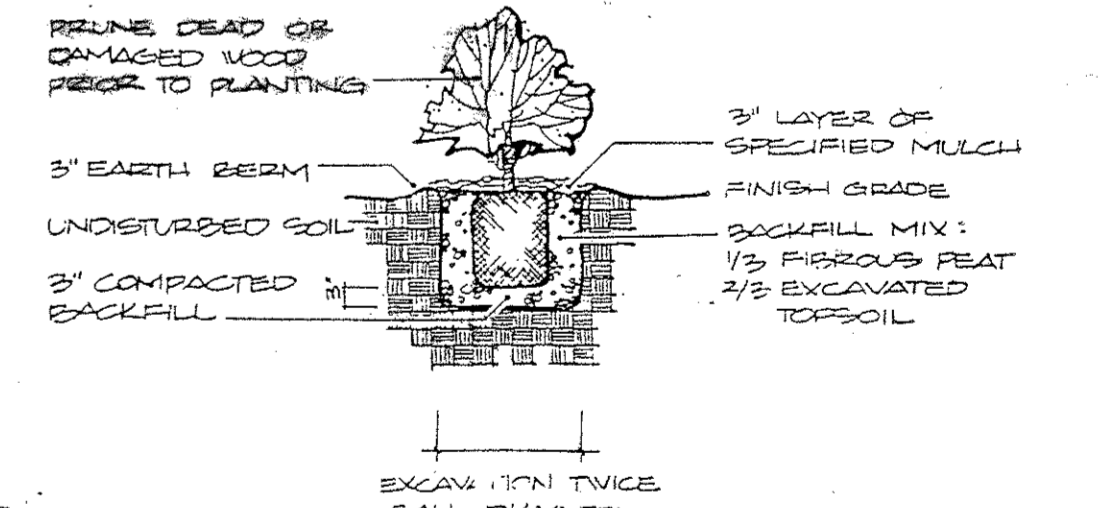
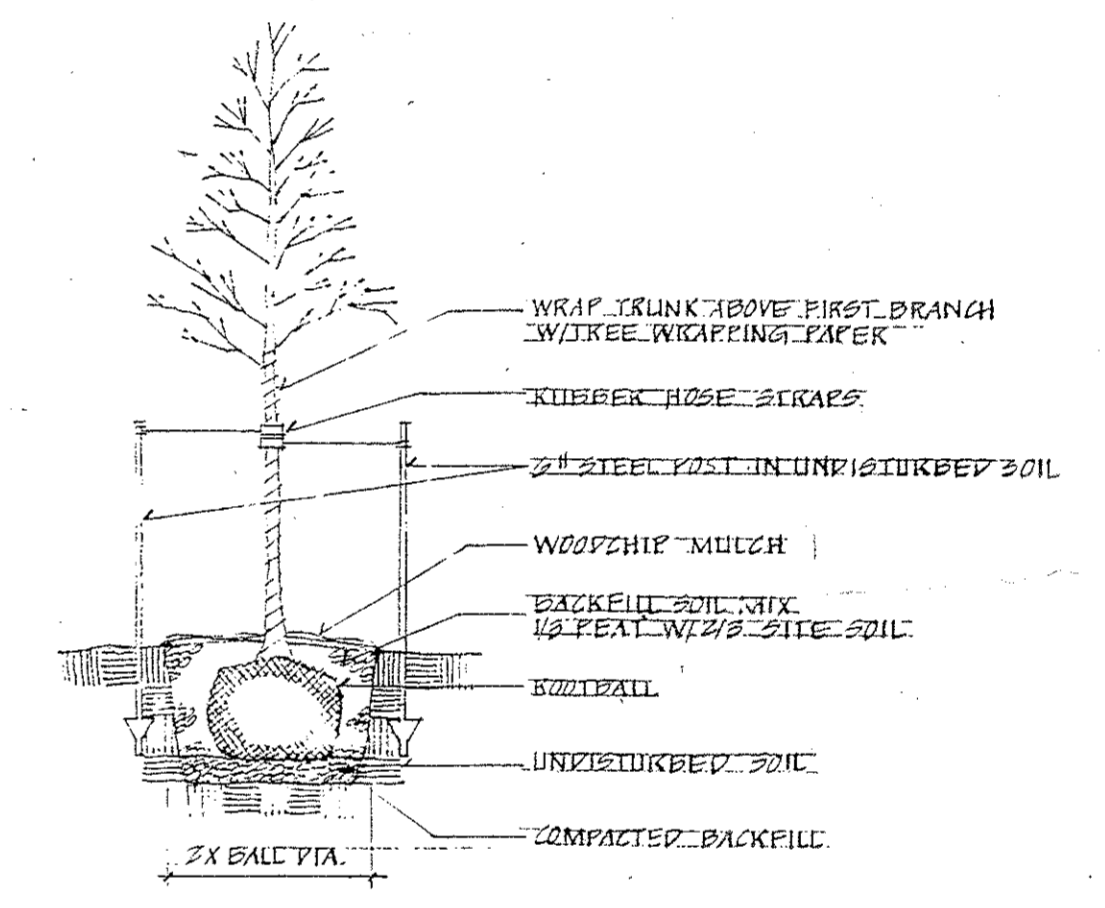
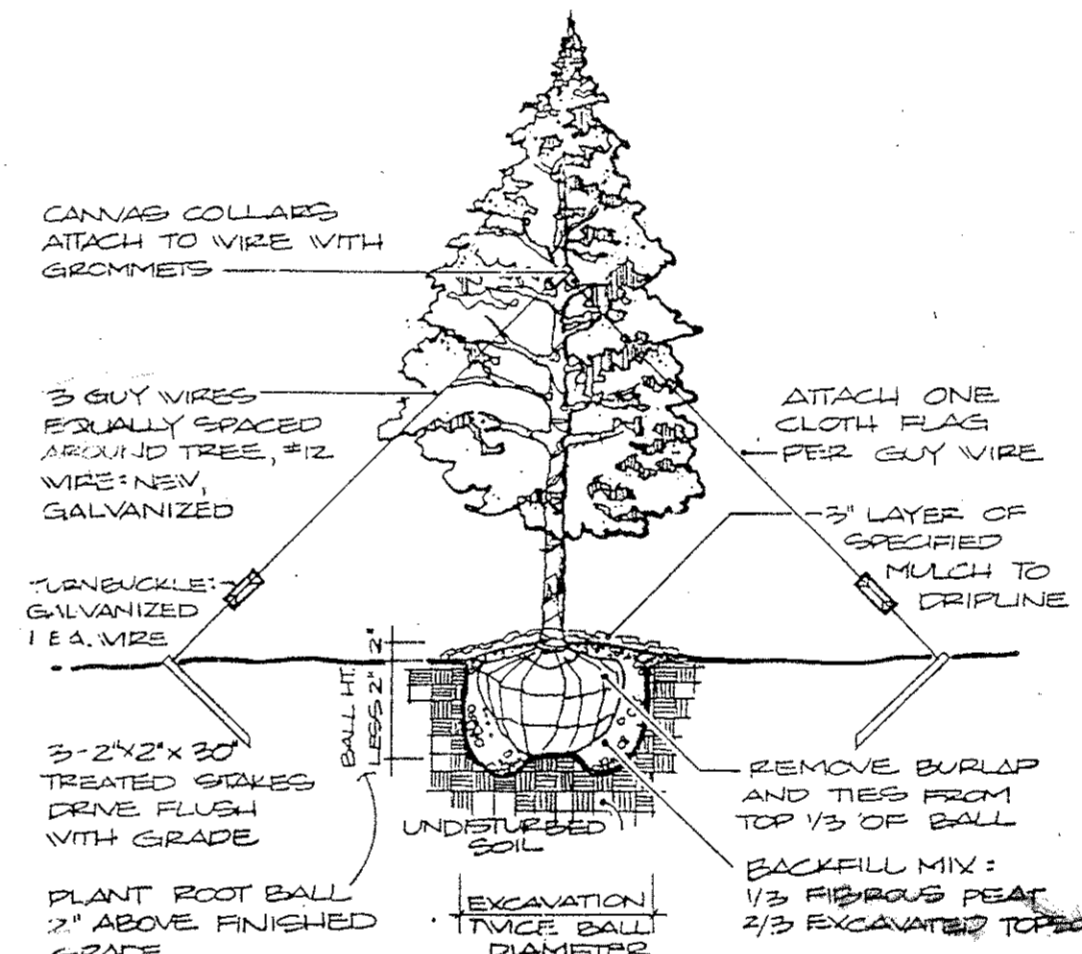
1. ALL PLANT MATERIAL SHALL COMPLY WITH CURRENT AAS STANDARDS FOR NO. 1 MATERIAL NURSERY STOCK. PLANTS TO MEET OR EXCEED SIZES SPECIFIED.
2. ALL OPEN AREAS ARE TO BE SODED UNLESS OTHERWISE SHOWN. SOG SHALL BE KENTUCKY BLUEGRASS BLEND FREE FROM WEEDS. SOG SHALL NOT BE LAID CLOSER THAN 24" FROM CENTER OF SHRUBS AND 12" FROM CENTER OF TREES. SOG SHALL BE PROTECTED FROM DRYING OUT.
3. ADD TO ALL SODED AREAS WELL DECAVED CATTLE MANURE AT A UNIFORM RATE OF 3 CUBIC YARDS PER 1000 S.F. TILL TO A DEPTH OF 6". RAKE TO ACCEPTABLE GRADE. ALL DEBRIS AND ROCK NOT PASSING THROUGH A HAND RAKE SHALL BE REMOVED.
4. ALL SHRUB AND FLOWER BEDS SHALL BE MULCHED WITH A MINIMUM 4" DEPTH OF POLE PEELINGS.
5. ALL SHRUB GROUPINGS PLACED IN SODED AREAS SHALL BE DIVIDED FROM SOG BY 4" WIDE STEEL EDGING.
6. COBBLE AREAS TO BE A MINIMUM 4" DEPTH WITH SIX (6) MIL FILTER FABRIC WEED BARRIER.
7. FERTILIZE PLANTS WITH 21 GRAM AGRIFORM SLOW RELEASE 20-10-5 TABLETS. PLACE TABLETS IN BACKFILL MIX.
8. DIG PLANTING PITS TWICE THE DIAMETER OF ROOTBALL AND BACKFILL WITH 1 PART GROUND MOUNTAIN PEAT AND 2 PARTS EXCAVATED TOPSOIL.
9. ALL LANDSCAPE AREAS TO HAVE AUTOMATIC IRRIGATION SYSTEM. CONTRACTOR TO SUBMIT IRRIGATION SHOP DRAWINGS TO OWNER FOR APPROVAL BEFORE INSTALLATION.
10. A FREE (NO CHARGE) PERMIT MUST BE OBTAINED FROM THE CITY FORESTER BEFORE ANY TREES OR SHRUBS AS NOTED ON THIS LANDSCAPE PLAN ARE PLANTED, PRUNED OR REMOVED ON THE PUBLIC RIGHT-OF-WAY.
11. A RAISED CONCRETE CURB OCCURS AT ALL LANDSCAPED AREA. NO ASPHALT, WOODEN OR OTHER TYPE CURBS WILL BE UTILIZED.

NOTE: PLANTING BEDS ON SOUTH SIDE OF FENCE ARE TO BE ELEVATED ONE (1) FOOT ABOVE FINISHED GRADE.



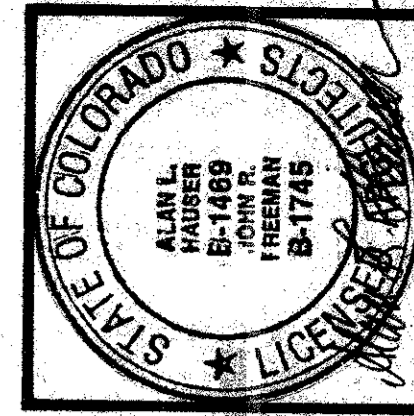
PLANT MATERIAL LIST

| QTY. | KEY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
|-------------------|-----|-----------------------------------|---------------------------|-------------|----------|
| TREES | | | | | |
| 2 | AG | Acer ginnala | Amur Maple | 1-1/2" Cal. | 20' O.C. |
| 3 | CO | Celtis occidentalis | Hackberry | 2-1/2" Cal. | 20' O.C. |
| 3 | GT | Gleditsia triacanthos 'Inermis' | Thornless Honeylocust | 2-1/2" Cal. | 20' O.C. |
| 9 | JS | Juniperus scopulorum | Rocky Mountain Juniper | 6'-8" Ht. | 20' O.C. |
| 1 | MS | Malus Sp. | Flowering Crabapple | 1-1/2" Cal. | |
| 3 | TC | Tilia cordata | Little-leaf Linden | 2-1/2" Cal. | 35' O.C. |
| SHRUBS | | | | | |
| 6 | BT | Berberis thunbergii | Japanese Barberry | 5 Gal. | 3' O.C. |
| 11 | CH | Cotoneaster horizontalis | Rock Cotoneaster | 5 Gal. | 3' O.C. |
| 45 | CS | Cornus stolonifera coloradensis | Colorado Redosier Dogwood | 5 Gal. | 3' O.C. |
| 45 | EA | Euonymus alatus 'Compactus' | Burningbush euonymus | 5 Gal. | 4' O.C. |
| 13 | JA | Juniperus chinensis 'Armstrongii' | Armstrong Juniper | 5 Gal. | 4' O.C. |
| 73 | JB | Juniperus sabina 'Broadmoor' | Broadmoor Juniper | 5 Gal. | 4' O.C. |
| 13 | JH | Juniperus horizontalis | Creeping Juniper | 5 Gal. | 4' O.C. |
| 22 | PC | Pyracantha coccinea 'lalandei' | Firethorn | 5 Gal. | 4' O.C. |
| 36 | PF | Potentilla fruticosa 'farreri' | Gold Drop Potentilla | 5 Gal. | 3' O.C. |
| 4 | PL | Philadelphus lemoii | Golden Mockorange | 5 Gal. | 4' O.C. |
| 16 | SB | Spirea bumalda 'A. Waterer' | Bumalda Spirea | 5 Gal. | 4' O.C. |
| PERENNIALS | | | | | |
| 345 | CT | Cerastium tomentosum | Snow-In-Summer | FLATS | 12" O.C. |
| 595 | CM | Chrysanthemum maximum | Shasta Daisy | FLATS | 12" O.C. |
| 695 | G | Gaillardia Sp. | Gaillardia | FLATS | 12" O.C. |



LANDSCAPING PLAN

1" = 30'



Bartran Homes
 1500 Quail Hollow Court
 Fort Collins, Colorado 80525
 Ph. (303) 223-2200

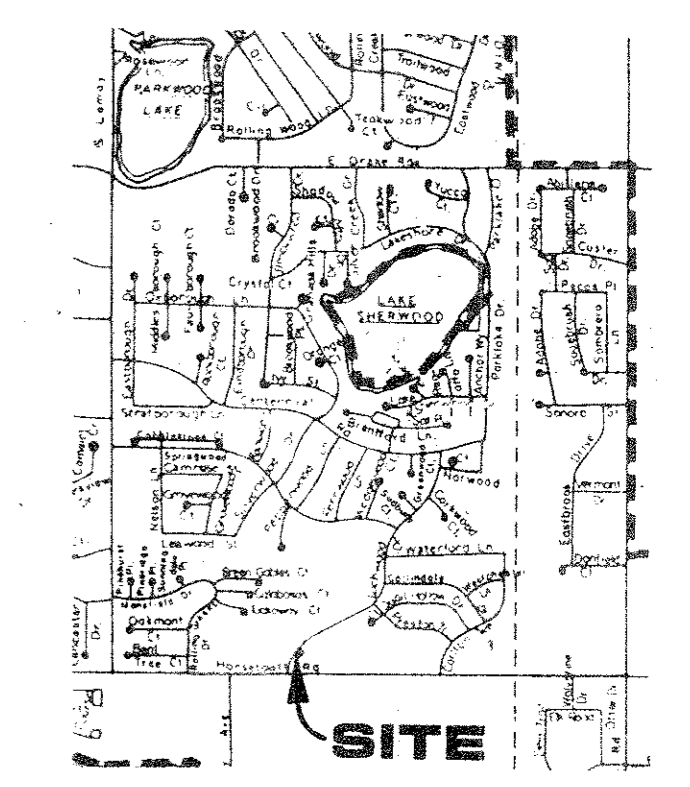
ARCHITECTURE ONE
 ARCHITECTS, PLANNERS, P.C.
 FIRESIDE SQUARE, SUITE 200
 107 WEST 29th STREET LOVELAND, COLORADO 80537
 303/669-9060

COLLINDALE P.U.D. '87
 BARTRAN HOMES INC.

| PROJECT NO. | 179-01 | DATE | 12/31/86 |
|--------------------------------|---------|---------|----------|
| REVISIONS | CHECKED | | |
| CHILD CARE CENTER | LHG | 2-3-87 | |
| PER SITE PRELIM. REVISION | LHG | 2-22-87 | |
| PRE SITE FINAL REVIEW COMMENTS | LHG | 3-30-87 | |
| REVISE DAY CARE SITE | AA | 8-18-87 | |
| REVISE DAY CARE FENCE | AA | 1-1-88 | |

| CURVE TABLE | | | | |
|-------------|-----------|---------|---------------|------------------------|
| CURVE NO. | R | L | CHORD BEARING | CHORD LENGTH |
| 1 | 30°30'35" | 432.22' | 230.16' | N28°22'18"E 227.45' |
| 2 | 16°50'12" | 143.00' | 42.02' | S49°36'54"E 41.87' |
| 3 | 16°50'12" | 107.00' | 31.44' | S49°36'54"E 31.33' |
| 4 | 90°00'00" | 13.00' | 20.42' | S03°48'09"W 18.38' |
| 5 | 54°20'20" | 100.00' | 94.84' | S75°56'50"W 91.32' |

NOTE:
The existing utilities shown are indicated in accordance with available records. Other utilities may also be present. The Contractor shall be responsible for obtaining exact locations and elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the Contractor 48 hours prior to excavation.



GENERAL NOTES

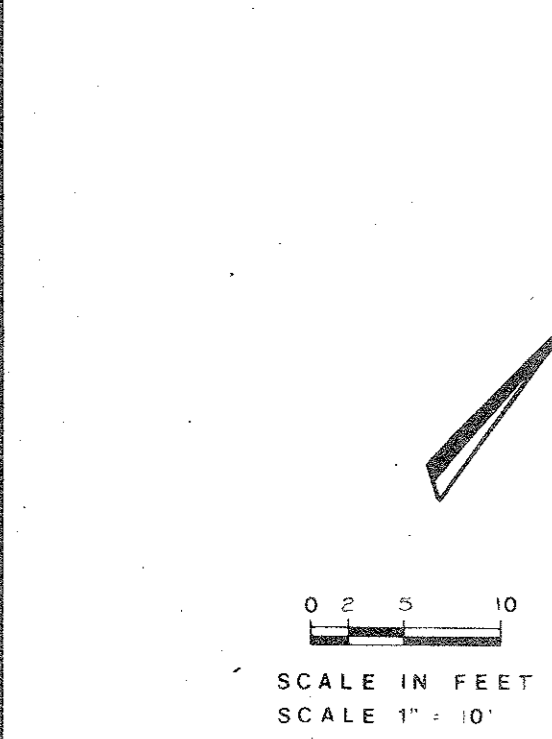
- All construction to meet City of Fort Collins and Kinder-Care requirements.
- All sidewalks that warp to pan flowing to be 1" : 12" max. slope; broom finish perpendicular to cross slope direction.
- Provide utility conduit sleeves for electric, water, telephone, gas, sprinklers, etc. as required.
- Provide expansion joint where new concrete construction meets old concrete construction.
- Building envelope = 6259 square feet per administrative change.
- Actual building = 6259 square feet
- Zoning: Site is Lot 3 of Collindale P.U.D. '87. Existing zoning is low density planned residential.
- Parking Provided: 16 spaces
- Playground equipment to be installed per directions available from Kinder-Care. Shown for general location only.
- Contractor to coordinate installation of gas, electric and telephone service with utility owners.
- Contractor shall provide and install a Pressure Reducing Valve on the water service in an accessible location in the building.

ABBREVIATIONS

| | |
|---------|--------------------------|
| APPROX. | APPROXIMATELY |
| CL | CENTERLINE |
| CONC | CONCRETE |
| D.I.P. | DUCTILE IRON PIPE |
| EXIST | EXISTING |
| FL | FLOWLINE |
| P.U.D. | PLANNED UNIT DEVELOPMENT |
| PVC | POLYVINYL CHLORIDE PIPE |
| ROW | RIGHT-OF-WAY |
| TYP | TYPICAL |
| MIN. | MINIMUM |
| TV | TELEVISION CABLE |
| C&G | CURB & GUTTER |
| SAN | SANITARY |
| PL | PROPERTY LINE |
| UG | UNDERGROUND |
| BLDG. | BUILDING |
| MAX. | MAXIMUM |
| NO | NUMBER |
| B.O.W. | BACK OF WALK |
| T.O.W. | TOP OF WALK |
| T.B.C. | TOP BACK OF CURB |
| F.F. | FINISHED FLOOR |
| WWM | WOVEN WIRE MESH |

1231

Ray D. Terney
11-20-87



LEGEND

| | | | |
|--|-------------------------------------|--|----------------------------|
| | PROPERTY LINE | | EASEMENT LINE |
| | EXIST ROLLOVER CURB & GUTTER | | EXIST 2' CONC PAN |
| | EXIST ROLLOVER CURB, GUTTER, & WALK | | NEW ROLLOVER CURB & GUTTER |
| | NEW ROLLOVER CURB, GUTTER, & WALK | | NEW 30' CONC PAN |
| | NEW 2' CONC PAN | | FENCE |
| | FENCE | | EXIST CONTOURS |
| | PROPOSED CONTOURS | | WATER LINE |
| | PROPOSED UG ELECTRIC | | EXIST UG ELECTRIC |
| | UNDERGROUND TELEPHONE | | GAS LINE |
| | EDGE OF NEW CONCRETE | | SAN. SEWER |
| | FIRE HYDRANT | | WATER VALVE |
| | LIGHT POLE | | TELEPHONE PEDESTAL |
| | PROPERTY CORNER | | PARKING SPACE NO. |
| | METER PIT | | EXIST TRAFFIC LANE |
| | DRAINAGE CHANNEL | | SIDEWALK CHASE |

| FILE NO. | NO. | BY | DATE | REVISION DESCRIPTION |
|----------|-----|----|----------|--|
| | 1 | RD | 11-23-87 | FENCE HEIGHTS & GATES ADDED, UTILITIES REVISED |
| | | | | |

| LKC, KDP | RWP / RDT | ROT |
|----------|-----------|-------------|
| DRAWN | DESIGNED | CHECKED |
| RD | 10/23/87 | 294 000 |
| APPROVED | DATE | PROJECT NO. |

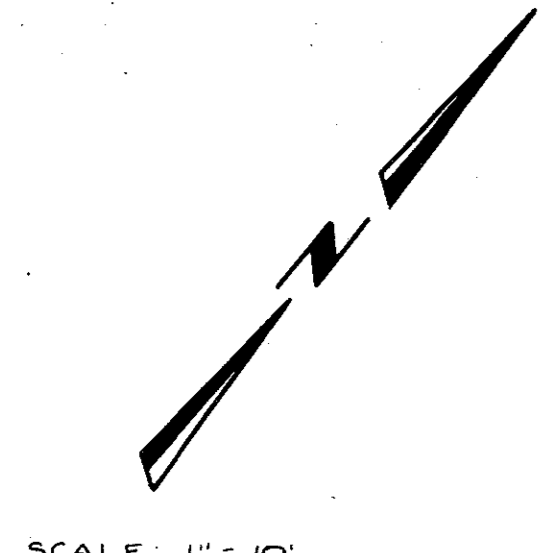
Donohue consulting engineers
4710 SOUTH COLLEGE AVENUE
FORT COLLINS, COLORADO 80525 (303) 226 2385

SITE, STAKING & UTILITY PLAN

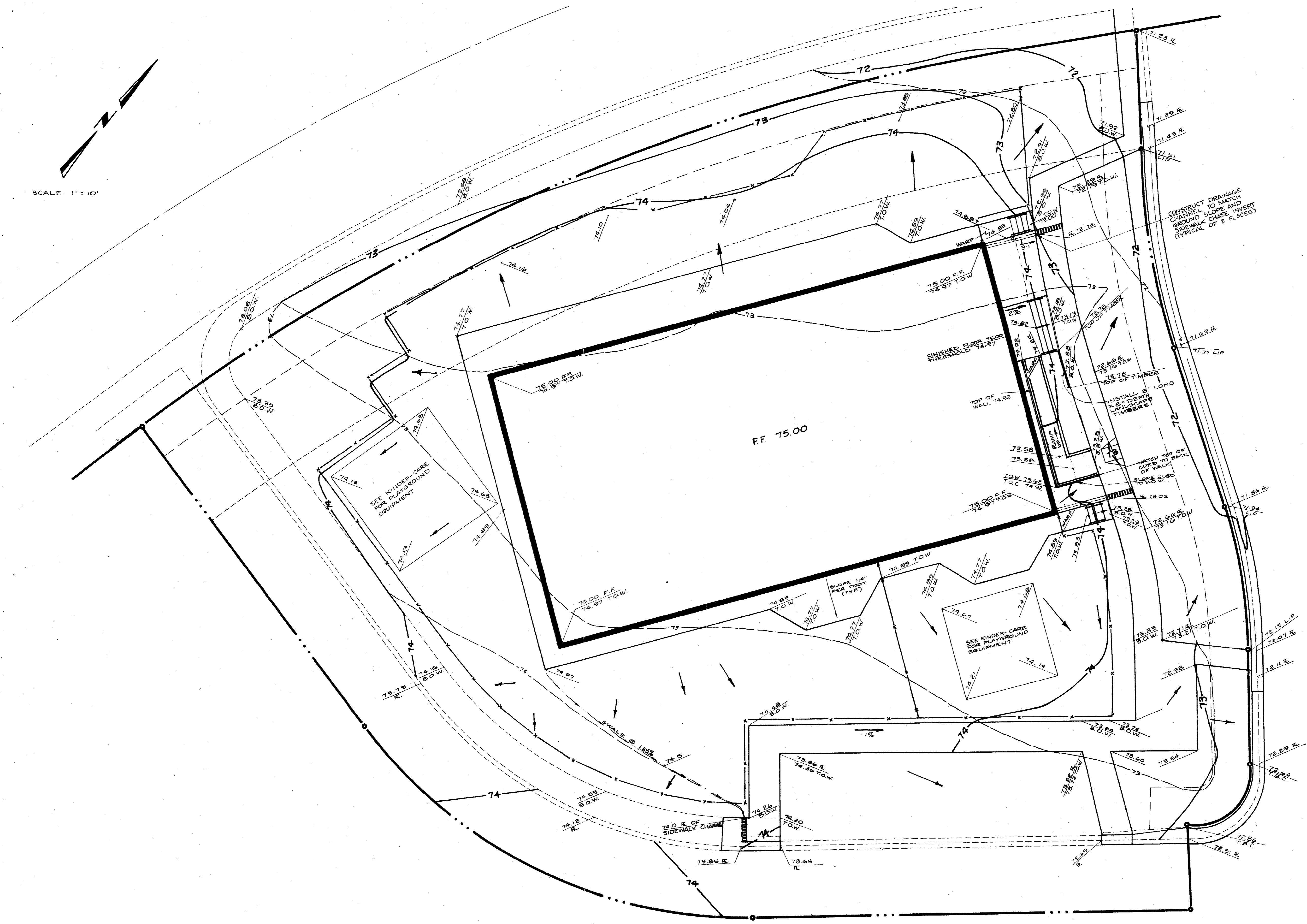
KINDER-CARE LEARNING CENTERS
2400 PRESIDENTS DRIVE
MONTGOMERY, AL 36116

| SHEETS | SHEET |
|--------|-------|
| 3 | C-1 |

#1231



SCALE: 1" = 10'



1231

| FILE NO. | NO. | BY | DATE | REVISION DESCRIPTION |
|----------|-----|-----|----------|--|
| | 1 | RDY | 11-23-87 | ADJUSTED SPOT ELEVATIONS AROUND BUILDING |

| LKC, KOP | RWP / RDY | RDY |
|----------|-----------|-------------|
| DRAWN | DESIGNED | CHECKED |
| RDY | 10/23/87 | 294.000 |
| APPROVED | DATE | PROJECT NO. |

Donohue consulting engineers
 4710 SOUTH COLLEGE AVENUE
 FORT COLLINS, COLORADO 80526 (303) 825 2323

GRADING & DRAINAGE

KINDER-CARE LEARNING CENTERS
 2400 PRESIDENTS DRIVE
 MONTGOMERY, AL 36116

| SHEETS | SHEET |
|--------|-------|
| 3 | C-2 |



AVAILABLE
970 776 3900







