

Conceptual Review Agenda

Schedule for 06/26/17 to 06/26/17

281 Conference Room A

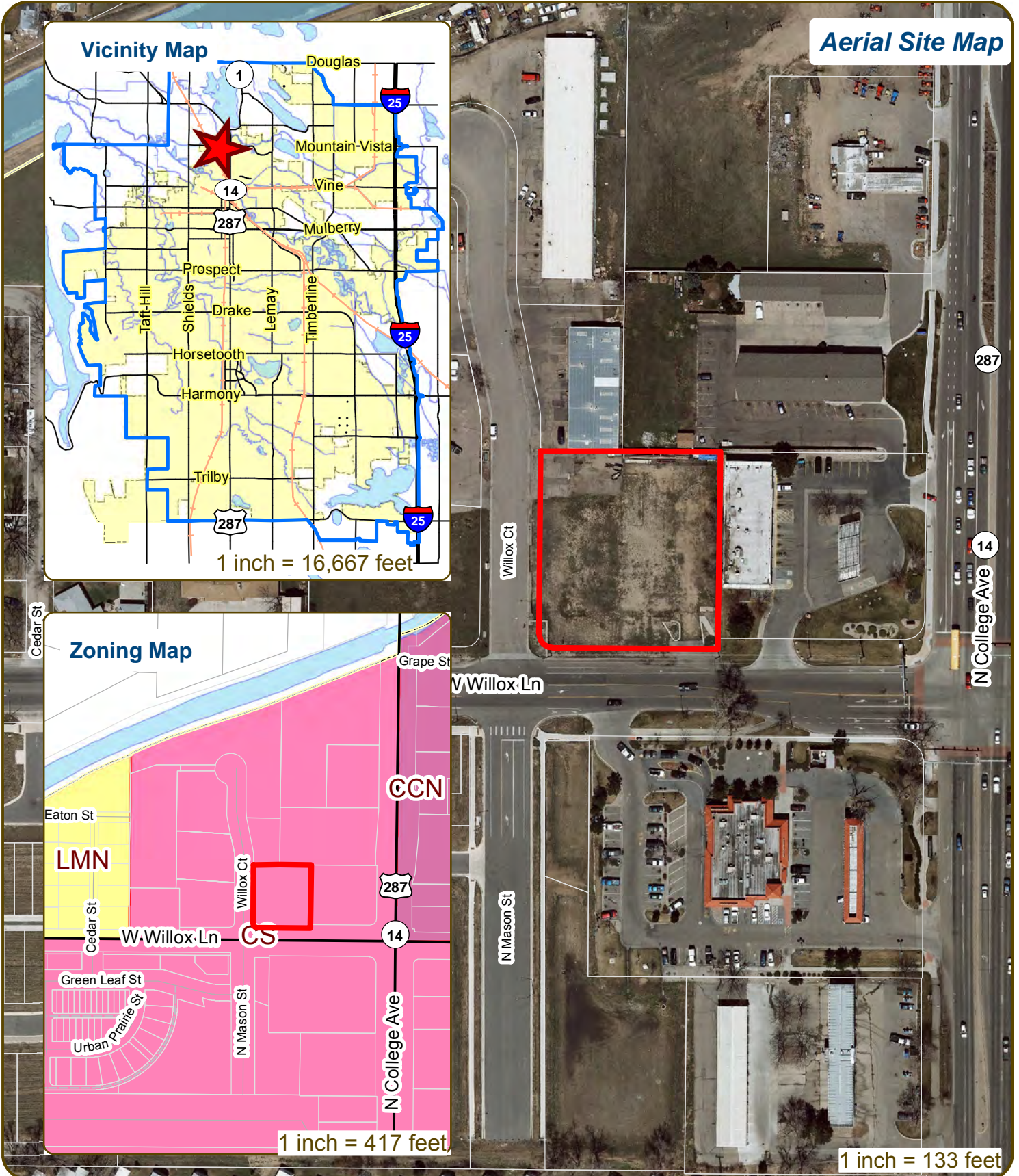
Monday, June 26, 2017

Time	Project Name	Applicant Info	Project Description	Planner
9:30	132 Willox Lane - Commercial Pad Site	Eric Larsen 970-461-5799 elarsen@evergreen-ind.com	This is a proposal to construct a previously approved and expired pad site on Lot 1 of the KD Subdivision, 132 Willox Lane(parcel #9835406009). The plan includes a one-story, 12,000 square foot commercial building with parking along the south and west sides. The proposal shows two points of access along Willox Ct and Willox Ln. The previous filing indicates that the approved 2007 plan was intended to replace an existing commercial building that was damaged during a snowstorm and later demolished. No activity on the site has been indicated since the projects previous approval. This project is located in the Service Commercial District (CS) and is subject to Administrative (Type 1) review.	Ted Shepard

Monday, June 26, 2017

Time	Project Name	Applicant Info	Project Description	Planner
10:15	2800 S Taft Hill Rd. - Multi-Family Residential	Paul C Sorensen 970-590-1579 pauls51@comcast.net	This is a request to build 11 multi-family buildings at 2800 S Taft Hill Road (parcel #9722705004). The 4.11-acre parcel currently contains a single-family residence with the site plan indicating the demolition of all current buildings to build 11 two-story, four- and six-plex structures. The rendering indicates an interior street-like private drive with two-stubbed street ends. Driveways are proposed for each unit with garages located under the second floor. Two points of access are indicated, one from Hull Street and a right-in right-out on S Taft Hill Road. Detention is located on the northern edge of the site adjacent to Spring Creek. The project is located in the Medium Density Mixed-Use Neighborhood District (MMN) and is subject to Planning and Zoning Board (Type 2) review.	Clay Frickey
11:00	729 S Shields St - Kappa Kappa Gamma Addition	Greg Orr (970) 567-6841 greg@relianceconstructionconsulting.c	This is a request to expand and renovate the Kappa Kappa Gamma Sorority house located at 729 S. Shields St. (parcel #9715104940). Renovations include removing paving/parking and a retaining wall on the rear (west) of the existing building to build a 3-story, 4,300 square foot addition to the existing 3-story, 19,000 square foot building. Site access would remain unchanged, however, the amount of parking would be reduced from approximately 48 to 42 spaces. A new outdoor courtyard with walkways will be added to the north side of the property. The project is located within the Community Commercial (CC) Zone District and is subject to a Basic Development Review (BDR).	Jason Holland

132 Willox Lane Pad Site



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CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc)

Eric Larsen - Evergreen Industrial (consultant)

Business Name (if applicable) Evergreen Industrial

Your Mailing Address 206 E. 4th street, Suite 210, Loveland, CO 80537

Phone Number (970)461-5799 Email Address elarsen@evergreen-ind.com

Site Address or Description (parcel # if no address) 132 Willow Court Fort Collins, CO 80524

Description of Proposal (attach additional sheets if necessary) Intent is to build the 12,000 sqft building that was originally proposed in 2006/2007

Proposed Use TOD Existing Use N/A (Vacant Ground)

Total Building Square Footage 12,000 S.F. Number of Stories 1 Lot Dimensions 200' x 185.5'

Age of any Existing Structures N/A .84 acres

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

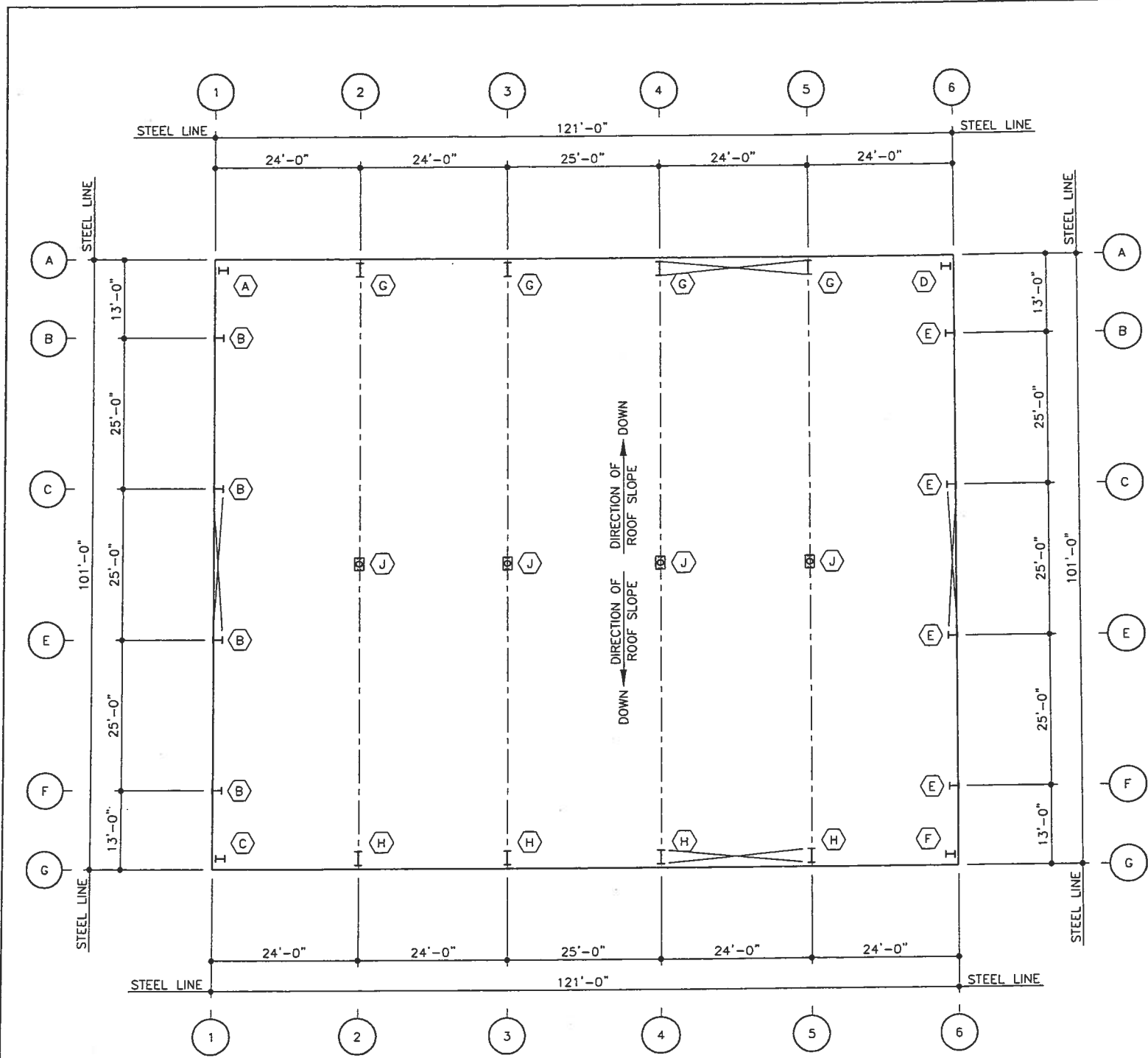
Is your property in a Flood Plain? [] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 24,000 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



ANCHOR BOLT PLAN

GENERAL NOTES

1. THE SPECIFIED ANCHOR BOLT SIZE ASSUMES A36 THREADED ROD MATERIAL FOR BOLTS. EQUAL DIAMETER A307 BOLTS MAY BE USED IN PLACE OF THREADED ROD. ANCHOR BOLT EMBEDMENT LENGTH IS TO BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.
2. NUCOR BUILDING SYSTEMS IS NOT RESPONSIBLE FOR FOUNDATION DESIGN. THE FOUNDATION DESIGN SHALL BE DONE BY A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
3. ALL ANCHOR BOLTS, FLAT WASHERS FOR ANCHOR BOLTS, EXPANSION BOLTS, AND ALL CONCRETE/MASONRY EMBEDS ARE NOT BY NUCOR BUILDING SYSTEMS.
4. THIS DRAWING IS NOT TO SCALE.
5. FINISHED FLOOR ELEVATION = 100'-0"
6. "SINGLE" CEE COLUMNS SHOULD BE ORIENTED WITH THE "TOES" TOWARD THE LOW EAVE UNLESS SHOWN OTHERWISE.



BOTTOM OF BASEPLATE
ELEV. = 100'-0"
AT FINISHED FLOOR

ANCHOR BOLT SCHEDULE		
QUANTITY	SIZE	PROJECTION
96	3/4"	3" FROM BOTTOM OF BASE PLATE
0	1"	3" FROM BOTTOM OF BASE PLATE
0	1 1/4"	3" FROM BOTTOM OF BASE PLATE

THE ANCHOR BOLT SETTINGS SHOWN ON THESE DRAWINGS NOT ONLY INDICATE WHERE THE ANCHOR BOLTS ARE TO BE PLACED, BUT ALSO THE FOOTPRINT OF THE NUCOR BUILDING. IT IS ESSENTIAL THAT THESE BOLT PATTERNS BE FOLLOWED. IN THE EVENT THAT THE NUCOR SETTINGS DIFFER FROM THE ARCHITECTURAL FOUNDATION PLANS, NUCOR MUST BE CONTACTED IMMEDIATELY, BEFORE CONCRETE IS PLACED.

DATE	P.L.E.	CHK	ENG
6/07/04			
6/16/04		WJP	

ISSUE
CONSTRUCTION ANCHOR BOLTS PERMITS

PORTLAND SYSTEMS, LLC.
481 KERING STREET, STE. 160
WENTZVILLE, COLORADO 80033
PHONE: (303) 432-0776
FAX: (303) 432-0759

PROJECT NAME: WILLOX COURT
FORT COLLINS, CO

JOB NUMBER: T4L0270A

SHEET NO: F1 of 2

JUN 16 2004



THIS SEAL PERTAINS ONLY TO THE MATERIALS DESIGNED AND SUPPLIED BY NUCOR BUILDING SYSTEMS, A DIVISION OF NUCOR CORPORATION. THE DRAWINGS AND THE METAL BUILDING WHICH THEY REPRESENT ARE THE PRODUCT OF NUCOR BUILDING SYSTEMS, THE REGISTERED PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS IS EMPLOYED BY NUCOR BUILDING SYSTEMS AND DOES NOT SERVE AS OR REPRESENT THE PROJECT ENGINEER OF RECORD AND SHALL NOT BE CONSTRUED AS SUCH.

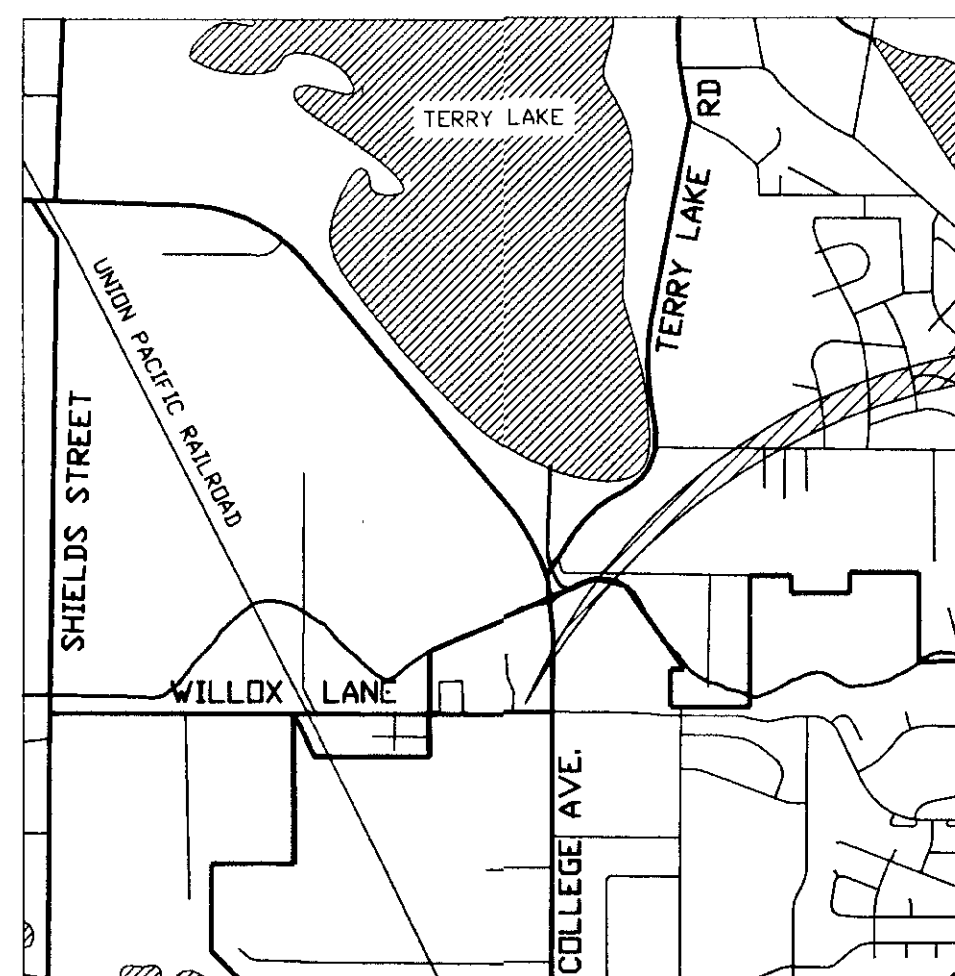
FINAL UTILITY PLANS FOR 132 WILLOX LANE

SITUATE IN SECTION 35, TOWNSHIP 8 NORTH, RANGE 69 WEST OF THE 6TH P.M.,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO

NOTES

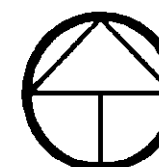
1. These plans have been reviewed by the local entity for concept only. The review does not imply responsibility by the reviewing department, the Local Entity Engineer, or the Local Entity for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed in any reason as acceptance of financial responsibility by the Local Entity for additional quantities of items shown that may be required during the construction phase.
2. The Engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm that these final construction plans were prepared under his/her direct supervision, in accordance with all applicable City of Fort Collins and State of Colorado standards and statutes, respectively; and the Engineer is fully responsible for the accuracy of all design, revisions, and record conditions that he/she has noted on these plans.
3. See General Notes sheet for additional notes.

MARCH, 2007



VICINITY MAP

SCALE: 1"=2000'



PROJECT LOCATION

SHEET INDEX

1. COVER SHEET
2. GENERAL NOTES
3. EXISTING CONDITIONS PLAN
4. HORIZONTAL CONTROL PLAN
5. UTILITY PLAN
6. GRADING & EROSION CONTROL PLAN
7. DRAINAGE PLAN
8. GENERAL DETAILS
9. GENERAL DETAILS

VERTICAL DATUM:

BENCHMARK:
CITY OF FORT COLLINS BENCHMARK 42-01
LOCATED AT THE NORTHWEST CORNER OF WILLOX LANE AND COLLEGE
AVE ON TRAFFIC SIGNAL BASE.
ELEVATION=4984.08 NGVD 1929 UNADJUSTED

CITY OF FORT COLLINS BENCHMARK 40-97
ON THE SOUTHWEST WINGWALL TO THE BRIDGE OVER THE LARIMER AND
WELD CANAL AT SHIELDS ST. BETWEEN WILLOX LANE AND LAWTON LANE.
ELEVATION=4996.62 NGVD 1929 UNADJUSTED

OWNER INFORMATION:
BRAD COLEMAN
COLEMAN PRODUCTS CO.
125 EAST 157TH STREET
GARDENA, CA 90248
(310) 324-6805

DEVELOPER INFORMATION:
BRAD COLEMAN
COLEMAN PRODUCTS CO.
125 EAST 157TH STREET
GARDENA, CA 90248
(310) 324-6805

PLANNER INFORMATION:
DON BROOKSHIRE
EASTPOINT STUDIOS
401 W. MOUNTAIN AVENUE, SUITE 201
FORT COLLINS, COLORADO 80521
(970) 224-5828

SURVEYOR INFORMATION:
LARRY PEPEK
KING SURVEYORS, INC.
850 GARDEN DRIVE
WINDSOR, COLORADO 80550
(970) 686-5011

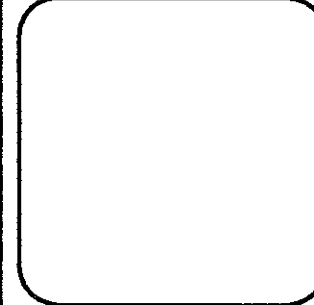
CIVIL ENGINEER INFORMATION:
JAY DAVIS
DMW CIVIL ENGINEERS, INC.
1435 WEST 29TH STREET
LOVELAND, CO 80538
(970) 461-2661

GEOTECHNICAL INFORMATION:
LESTER LITTON
EARTH ENGINEERING CONSULTANTS
4396 GREENFIELD DRIVE
WINDSOR, COLORADO 80550
(970) 545-3908

City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED BY: <i>[Signature]</i>	Date: 4/10/07
CHECKED BY: <i>[Signature]</i>	Date: 4/2/07
CHECKED BY: <i>[Signature]</i>	Date: 4-9-07
CHECKED BY: <i>NA</i>	Date: _____
CHECKED BY: <i>NA</i>	Date: _____
CHECKED BY: _____	Date: _____

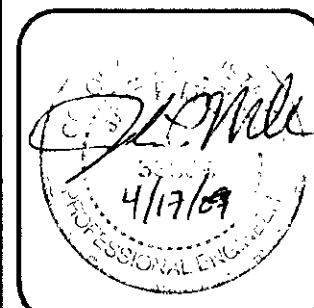
ADDITIONAL C-3 353

No.	Revisions	By:	Date:



DMW CIVIL ENGINEERS
 1435 West 29th Street, Loveland, Colorado 80538
 Phone: (970) 461-2661, Fax: (970) 461-2668
 www.dmwengineers.com

132 WILLOX LANE
 COVER SHEET



Project: WLD	Design: 4/07	Scale: N/A	Designed By: <i>NA</i>	Engineered By: <i>NA</i>
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1
Sheet
9
Sheets

GENERAL NOTES

- 1. All materials, workmanship, and construction of public improvements shall meet or exceed the standards and specifications set forth in the Larimer County Urban Area Street Standards and applicable state and federal regulations.
2. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
3. These public improvement construction plans shall be valid for a period of three years from the date of approval by the City of Fort Collins Engineer.
4. The engineer who has prepared these plans, by execution and/or seal hereof, does hereby affirm responsibility to the City of Fort Collins, as beneficiary of said engineer's work, for any errors and omissions contained in these plans, and approval of these plans by the City of Fort Collins Engineer shall not relieve the engineer who has prepared these plans of all such responsibility.
5. All sanitary sewer, storm sewer, and water line construction, as well as power and other "dry" utility installations, shall conform to the City of Fort Collins standards and specifications current at the date of approval of the plans by the City of Fort Collins Engineer.
6. The type, size, location and number of all known underground utilities are approximate when shown on the drawings. It shall be the responsibility of the Developer to verify the existence and location of all underground utilities along the route of the work before commencing new construction.
7. The Contractor shall contact the Utility Notification Center of Colorado (UNCC) at 1-800-922-1987, at least 2 working days prior to beginning excavation or grading, to have all registered utility locations marked.
8. The Contractor shall be responsible for protecting all utilities during construction and for coordinating with the appropriate utility company for any utility crossings required.
9. If a conflict exists between existing and proposed utilities and/or a design modification is required, the Developer shall coordinate with the engineer to modify the design.
10. The Developer shall coordinate and cooperate with the City of Fort Collins, and all utility companies involved, to assure that the work is accomplished in a timely fashion and with a minimum disruption of service.
11. No work may commence within any public storm water, sanitary sewer or potable water system until the Developer notifies the utility provider.
12. The Developer shall sequence installation of utilities in such a manner as to minimize potential utility conflicts.
13. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
14. A State Construction Dewatering Wastewater Discharge Permit is required if dewatering is required in order to install utilities or water is discharged into a storm sewer, channel, irrigation ditch or any waters of the United States.
15. The Developer shall comply with all terms and conditions of the Colorado Permit for Storm Water Discharge.
16. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property.
17. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department.
18. The City of Fort Collins shall not be responsible for any damages or injuries sustained in this Development as a result of groundwater seepage, whether resulting from groundwater flooding, structural damage or other damage unless such damage or injuries are sustained as a result of the City of Fort Collins failure to properly maintain its water, wastewater, and/or storm drainage facilities in the development.
19. All recommendations of the Final Drainage and Erosion Control Report for 132-134 Willow Lane dated July 12, 2006 by DMW Civil Engineers shall be followed and implemented.
20. Temporary erosion control during construction shall be provided as shown on the Erosion Control Plan. All erosion control measures shall be maintained in good repair by the Developer, until such time as the entire disturbed areas is stabilized with hard surface or landscaping.
21. The Developer shall be responsible for insuring that no mud or debris shall be tracked onto the existing public street system.
22. No work may commence within any improved or unimproved public Right-of-Way until a Right-of-Way Permit or Development Construction Permit is obtained, if applicable.
23. The Developer shall be responsible for obtaining all necessary permits for all applicable agencies prior to commencement of construction.
24. Approved Variances are listed as follows:
49. See soils report prepared by Earth Engineering Services, Project #1042036, Dated May 28, 2004.

GRADING AND EROSION CONTROL NOTES

- (1) The erosion control inspector must be notified at least twenty-four (24) hours prior to any construction on this site.
(2) There shall be no earth-disturbing activity outside the limits designated on the accepted plans.
(3) All required perimeter sill and construction fencing shall be installed prior to any land disturbing activity (stockpiling, stripping, grading, etc.).
(4) At all times during construction, the Developer shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment.
(5) Pre-disturbance vegetation shall be protected and retained wherever possible.
(6) All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or diskling along land contours until mulch, vegetation, or other permanent erosion control BMPs are installed.
(7) In order to minimize erosion potential, all temporary (structural) erosion control measures shall:
(a) Be inspected at a minimum of once every two (2) weeks and after each significant storm event and repaired or reconstructed as necessary in order to ensure the continued performance of their intended function.
(b) Remain in place until such time as all the surrounding disturbed areas are sufficiently stabilized as determined by the erosion control inspector.
(c) Be removed after the site has been sufficiently stabilized as determined by the erosion control inspector.
(8) When temporary erosion control measures are removed, the Developer shall be responsible for the clean up and removal of all sediment and debris from all drainage infrastructure and other public facilities.
(9) The contractor shall immediately clean up any construction materials inadvertently deposited on existing streets, sidewalks, or other public rights of way, and make sure streets and walkways are cleaned at the end of each working day.
(10) All retained sediments, particularly those on paved roadway surfaces, shall be removed and disposed of in a manner and location so as not to cause their release into any waters of the United States.
(11) No soil stockpile shall exceed ten (10) feet in height. All soil stockpiles shall be protected from sediment transport by surface roughening, watering, and perimeter silt fencing.
(12) The stormwater volume capacity of detention ponds will be restored and storm sewer lines will be cleaned upon completion of the project and before turning the maintenance over to the City/County or Homeowners Association (HOA).
(13) City Ordinance and Colorado Discharge Permit System (CDPS) requirements make it unlawful to discharge or allow the discharge of any pollutant or contaminated water from construction sites.
(14) A designated area shall be provided on site for concrete truck chute washout.
(15) To ensure that sediment does not move off of individual lots or more of the following sediment/erosion control BMPs shall be installed and maintained until the lots are sufficiently stabilized, as determined by the erosion control inspector.
(a) Below all gutter downspouts.
(b) Out to drainage swales.
(c) Along lot perimeter.
(d) Other locations, if needed.
(16) Conditions in the field may warrant erosion control measures in addition to what is shown on these plans. The Developer shall implement whatever measures are determined necessary, as directed by the City/County.

STREET IMPROVEMENTS NOTES

- 1. All street construction is subject to the General Notes on this sheet as well as the Street Improvements Notes listed here.
2. A paving section design, signed and stamped by a Colorado licensed Engineer, must be submitted to the City of Fort Collins Engineer for approval.
3. Where proposed paving adjoins existing asphalt, the existing asphalt shall be saw cut, a minimum distance of 12 inches from the existing edge, to create a clean construction joint.
4. Street subgrades shall be scarified the top 12 inches and re-compacted prior to subbase installation.
5. Ft. Collins only. Valve boxes and manholes are to be brought up to grade at the time of pavement placement or overlay.
6. When an existing asphalt street must be cut, the street must be restored to a condition equal to or better than its original condition.
8. The Developer is required to perform a gutter water flow test in the presence of the City of Fort Collins Inspector and prior to installation of asphalt.
9. Prior to placement of H.B.P. or concrete within the street and after moisture/density tests have been taken on the sub grade material.
11. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property.
12. Manhole and valve box rim elevations are to be adjusted to 1/4" below finished grade in pavement and 12" below grade in gravel roadway.
13. All DIP shall be wrapped with 8 mil Polyethylene conforming to ASTM D1248 and installed in accordance with ANSI A21.5/AWWA C105.
14. Coordinate service abandonment and new connections with the City Utilities department at (970) 221-6700.
15. Extend water service and fire line into a mechanical room with a floor drain sized to accept flow from the back flow preventer.

SIGNAGE AND PAVEMENT MARKING NOTES

- 1. All signage and marking is subject to the General Notes on this sheet, as well as the Traffic Signing and Marking Construction notes listed here.
2. All symbols, including arrows, ONLV's, crosswalks, stop bars, etc. shall be pre-formed thermo-plastic.
3. All signage shall be per City of Fort Collins Standards and these plans or as otherwise specified in MUTCD.
4. All lane lines for asphalt pavement shall receive two coats of latex paint with glass beads.
5. All lane lines for concrete pavement should be epoxy paint.
6. Prior to permanent installation of traffic striping and symbols, the Developer shall place temporary tabs or tape depicting alignment and placement of the same.
7. Pre-formed thermo-plastic applications shall be as specified in these Plans and/or these Standards.
8. Epoxy applications shall be applied as specified in CDOT Standard Specifications for Road and Bridge Construction.
9. All surfaces shall be thoroughly cleaned prior to installation of striping or markings.
10. All sign posts shall utilize break-away assemblies and fasteners per the Standards.
11. A field inspection of location and installation of all signs shall be performed by the City of Fort Collins Engineer.
12. The Developer installing signs shall be responsible for locating and protecting all underground utilities.
13. Special care shall be taken in sign location to ensure an unobstructed view of each sign.
14. Signage and striping has been determined by information available at the time of review.
15. Sleeves for sign posts shall be required for use in islands/medians. Refer to Chapter 14, Traffic Control Devices, for additional detail.

STORM DRAINAGE NOTES

- 1. The City of Fort Collins shall not be responsible for the maintenance of storm drainage facilities located on private property.
2. All recommendations of the Final Drainage and Erosion Control Report for 132-134 Willow Lane by DMW Civil Engineers shall be followed and implemented.
3. Prior to final inspection and acceptance by the City of Fort Collins, certification of the drainage facilities, by a registered engineer, must be submitted to and approved by the Stormwater Utility Department.
4. Coordinate service abandonment and new connections with the City Utilities department at (970) 221-6700.

WATERLINE NOTES

- 1. The minimum cover over water lines is 4.5 feet and the maximum cover is 5.5 feet unless otherwise noted in the plans and approved by the Water Utility.
2. Manhole and valve box rim elevations are to be adjusted to 1/4" below finished grade in pavement and 12" below grade in gravel roadway.
3. All DIP shall be wrapped with 8 mil Polyethylene conforming to ASTM D1248 and installed in accordance with ANSI A21.5/AWWA C105.
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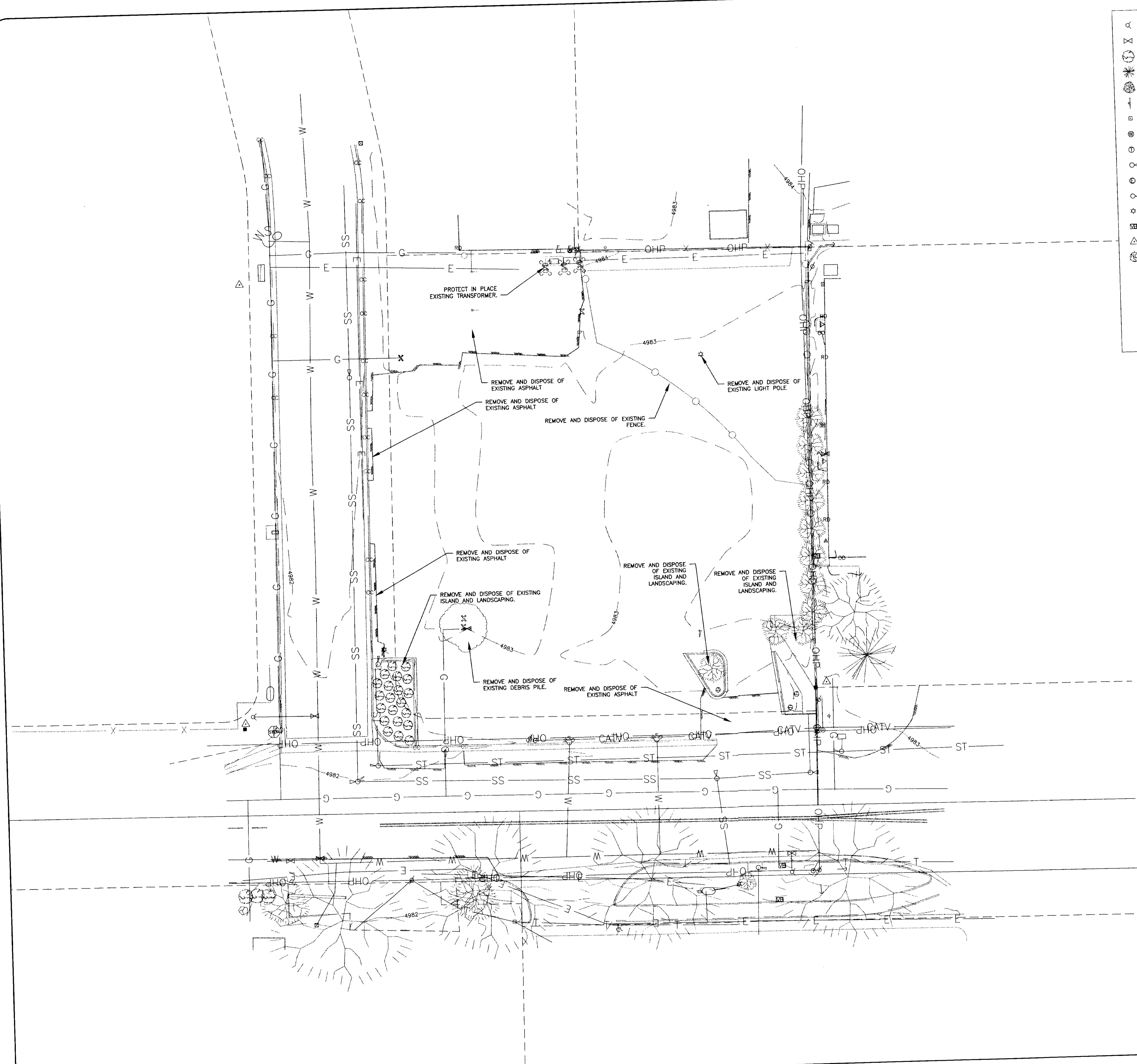
192 WILLOW LANE GENERAL NOTES CIVIL ENGINEERS INC. 1435 West 70th Street, Loveland, Colorado, 80538. Project: WLD, Date: 07/14/07, Design: NA, Drawn: NA, Checked: NA, Approved: NA. 2 Sheet 9 Sheets

ADDITIONAL 6-3 353

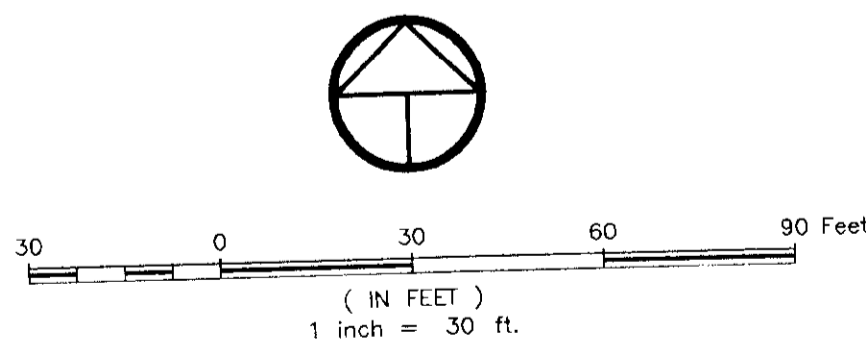
City of Fort Collins, Colorado UTILITY PLAN APPROVAL. APPROVED: [Signature] City Engineer. Date: 4/10/07. CHECKED BY: [Signature] Stormwater Utility. Date: 4/26/07. CHECKED BY: [Signature] Stormwater Utility. Date: 4-2-07. CHECKED BY: [Signature] Parks & Recreation. Date: [Signature] Traffic Engineer. Date: [Signature]

LEGEND

⊕	FIRE HYDRANT	— CATV —	CABLE TV LINE
⊕	WATER VALVE	— CHL —	CHAIN LINK FENCE
⊕	SHRUB	— E/A —	EDGE OF ASPHALT
⊕	PINE TREE	— E/G —	EDGE OF GRASS
⊕	DECIDUOUS TREE	— E/R —	EDGE OF ROAD
⊕	SIGN	— FL —	FLOWLINE
⊕	ELECTRIC PEDESTAL	— FO —	FIBER OPTIC LINE
⊕	WATER MANHOLE	— F —	FENCE LINE
⊕	TELEPHONE MANHOLE	— G —	GAS LINE
⊕	SANITARY MANHOLE	— GR —	GUARD RAIL
⊕	ELECTRIC MANHOLE	— W —	WATER LINE
⊕	DRAINAGE MANHOLE	— OHP —	OVERHEAD POWER LINE
⊕	LIGHT POLE	— OT —	OVERHEAD TELEPHONE LINE
⊕	IRRIGATION BOX		CENTERLINE OF RAIL ROAD TRACK
⊕	CONTROL POINT	— SS —	SANITARY LINE
⊕	NGS CONTROL	— ST —	DRAINAGE LINE
		— E —	UNDERGROUND POWER LINE
		— T —	UNDERGROUND TELEPHONE LINE
		— 4876 —	ONE FOOT CONTOUR
		— 4835 —	5 FOOT CONTOUR



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL
 APPROVED: *[Signature]* 4/10/07
 CHECKED BY: *NA*
 CHECKED BY: *NA*
 CHECKED BY: *NA*
 CHECKED BY: *NA*
 CHECKED BY: *NA*

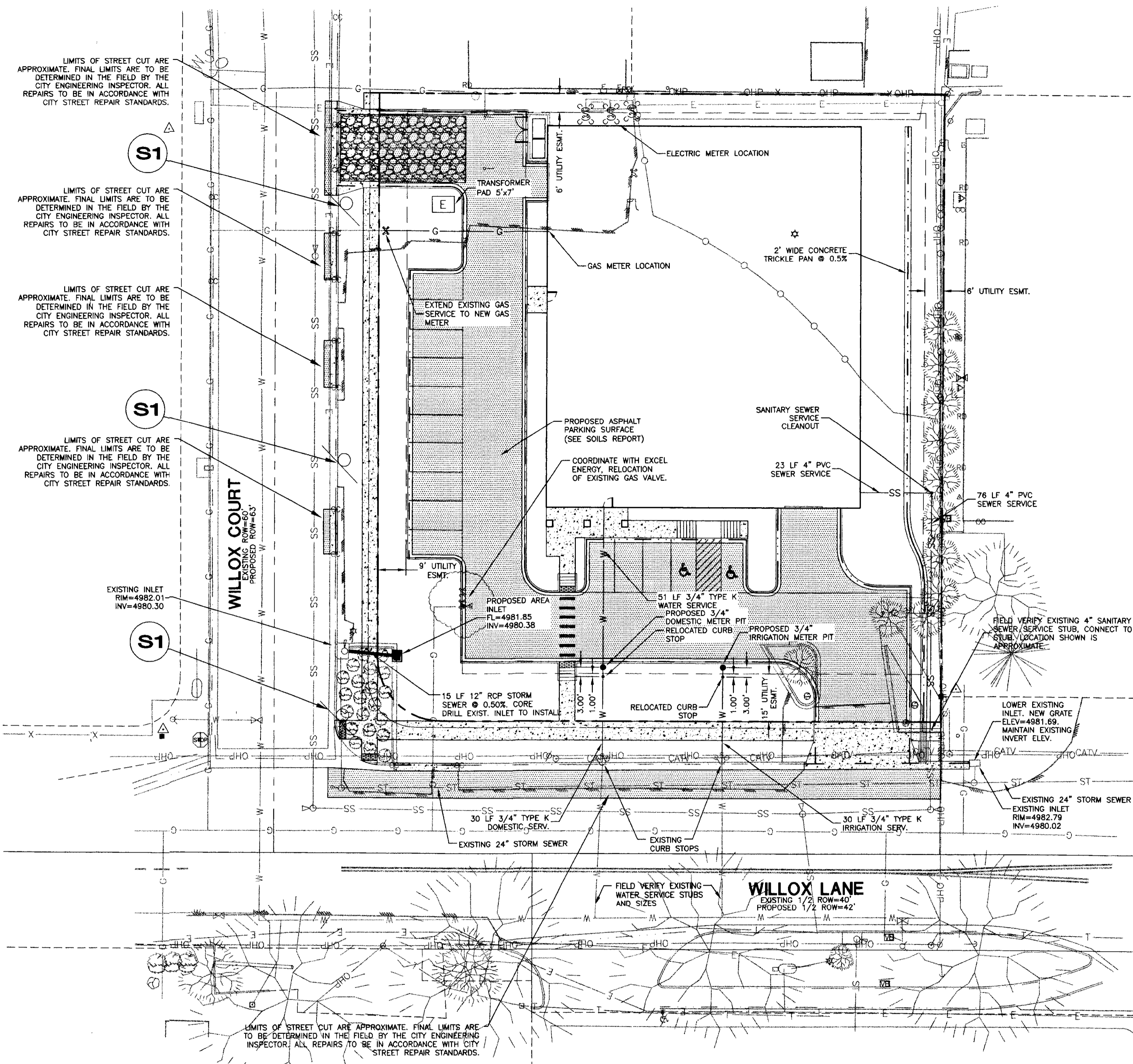
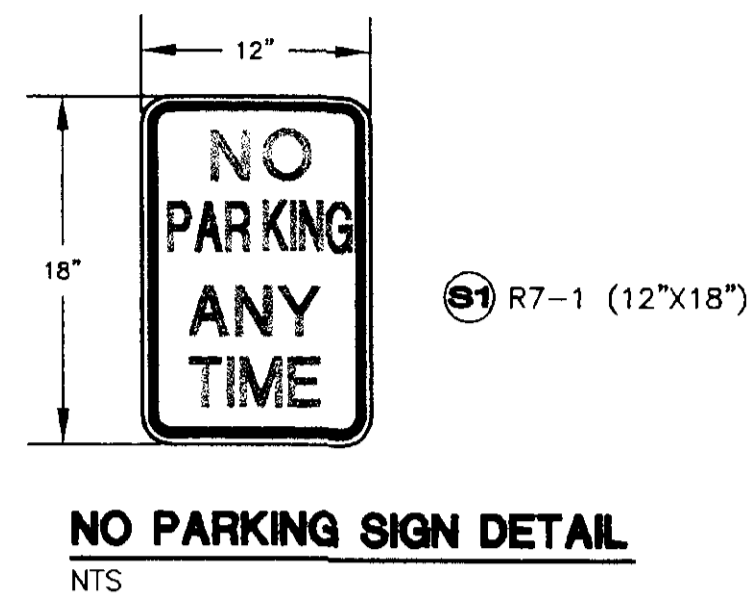


CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
1-800-922-1987
 OR **1-303-232-1991** IN METRO DENVER
 CALL 2 BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

FOR REFERENCE ONLY
 ADDITIONAL **C-3** 353

132 WILLOX LANE
EXISTING CONDITIONS
 CIVIL ENGINEERS
 1432 West 29th Street, Loveland, Colorado 80538
 Phone: (970) 441-2665

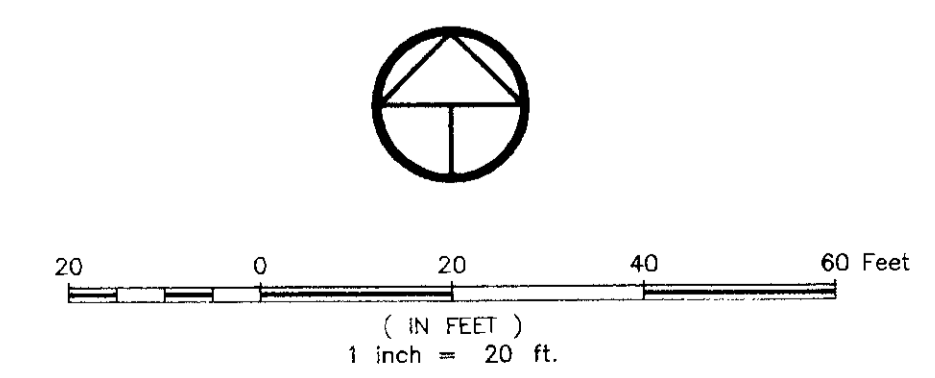
This unofficial copy was downloaded on Jun-07-2017 from the City of Fort Collins Public Records Website: <http://citydocs.fcgov.com>
 For additional information or an official copy, please contact Engineering Office 281 North College Fort Collins, CO 80521 USA



LEGEND

	PROPOSED WATER MAIN		EXISTING WATER MAIN		EXISTING STREET LIGHT
	PROPOSED GATE VALVE		EXISTING WATER VALVE		EXISTING POWER VAULT
	PROPOSED FIRE HYDRANT		EXISTING FIRE HYDRANT		EXISTING STORM SEWER
	PROPOSED THRUST RESTRAINT		EXISTING POWER POLE		EXISTING STORM SEWER AND INLET
	PROPOSED WATER SERVICE		EXISTING POWER POLE W/ GUY WIRE		EXISTING STREET SIGN
	PROPOSED SEWER MAIN		EXISTING UNDERGROUND ELECTRIC		EXISTING FENCE
	PROPOSED SEWER SERVICE		EXISTING UNDERGROUND CABLE LINES		EXISTING MAILBOX
	PROPOSED STORM SEWER OR CULVERT		EXISTING UNDERGROUND GAS LINES		EXISTING SANITARY SEWER
	PROPOSED STORM SEWER W/ INLET		EXISTING POWER LINES		
	PROPOSED SWALE		EXISTING TELEPHONE LINES		
	PROPERTY BOUNDARY		EXISTING TELEPHONE PEDESTAL		

CALL UTILITY NOTIFICATION
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1-800-922-1987
OR
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City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: *[Signature]* 4/10/07
City Engineer

CHECKED BY: *[Signature]* 4/2/07
Water & Wastewater Utility

CHECKED BY: *[Signature]* 4-9-07
Stormwater Utility

CHECKED BY: *[Signature]* _____
Parks & Recreation

CHECKED BY: *[Signature]* _____
Traffic Engineer

CHECKED BY: _____
Date

ADDITIONAL C-3 353

Date: _____
By: _____
Revisions: _____
No. _____

DMMA
CIVIL ENGINEERS
1438 West 20th Street, Loveland, Colorado, 80538
Phone: (970)441-2081, Fax: (970)441-2080
www.dmmaengineers.com

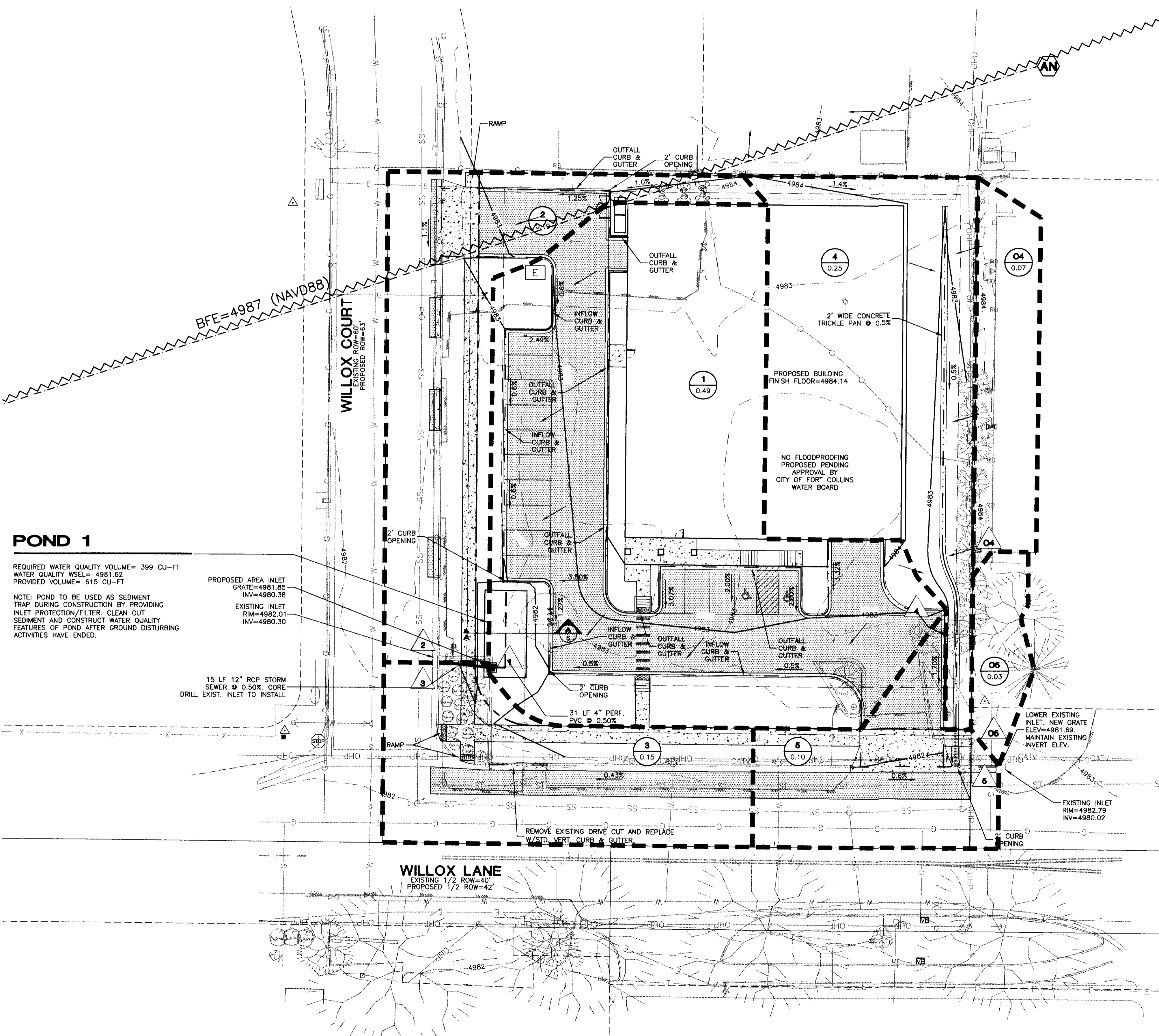
132 WILLOX LANE
UTILITY PLAN

[Signature]
4/10/07

Project: WLOP
Date: 03/14/07
Scale: 1"=20'
Designed By: JMW
Reviewed By: JMD

5
Sheet
9
Sheets

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POND 1

REQUIRED WATER QUALITY VOLUME= 399 CU-FT
 WATER QUALITY WSEL= 4981.62
 PROVIDED VOLUME= 615 CU-FT

NOTE: POND TO BE USED AS SEDIMENT TRAP DURING CONSTRUCTION BY PROVIDING INLET PROTECTION/FILTER, CLEAN OUT SEDIMENT AND CONSTRUCT WATER QUALITY FEATURES OF POND AFTER GROUND DISTURBING ACTIVITIES HAVE ENDED.

PROPOSED AREA INLET
 GRATE=4981.85
 INV=4980.38

EXISTING INLET
 RIM=4982.01
 INV=4980.30

15 LF 12" RCP STORM SEWER @ 0.50% CORE
 DRILL EXIST. INLET TO INSTALL

31 LF 4" PERF. PVC @ 0.50%

LEGEND:

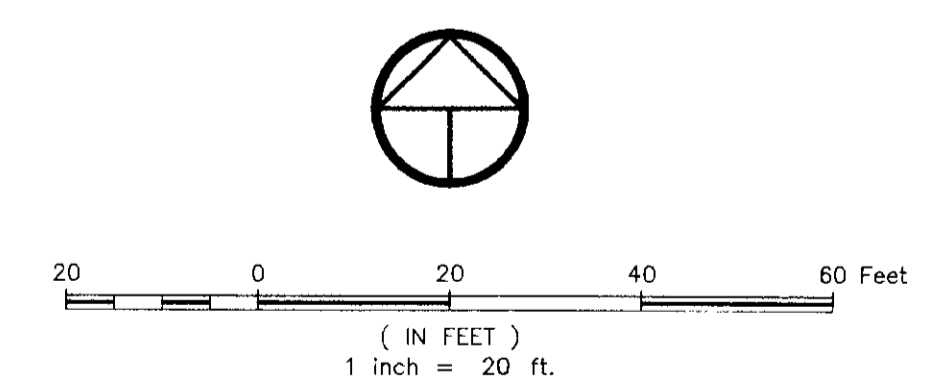
- EXISTING STORM SEWER
- EXISTING STORM SEWER WITH INLET
- PROPOSED STORM SEWER OR CULVERT
- PROPOSED STORM SEWER WITH INLET
- 5020 EXISTING CONTOUR
- 20 PROPOSED CONTOUR
- PROJECT BOUNDARY
- CP-3 WATTLE INLET PROTECTION
- DP-3 DROP INLET WATTLE FILTER
- SF SILT FENCE
- VTC VEHICLE TRACKING CONTROL PAD
- 1 BASIN LABEL
- 1 AREA IN ACRES
- 1 DESIGN POINT

- FLOODPLAIN NOTES:**
- According to FEMA Flood Insurance Rate Map for Fort Collins, Community Panel 08069C-0977-F Revised December 19, 2006 this Parcel is completely within the FEMA Designated Flood Zone "AE". The Zone "AE" boundary is not indicated on this map because it is beyond the limits of the map and encompasses the entire area (see FIRM Panel 08069C-0977-F included with this application for zone boundaries).
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 - The proposed building will have a first floor finish floor elevation of 4984.14 (NGVD29). A variance to floodproofing requirements to freeboard level was granted by the City of Fort Collins Water Board for approval of these drawings.
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 - Site datum is NGVD 1929 datum, project benchmarks are:
 (1) CITY OF FORT COLLINS BENCHMARK 42-01
 LOCATED AT THE NORTHWEST CORNER OF WILLOX LANE AND COLLEGE AVE ON TRAFFIC SIGNAL BASE.
 ELEVATION=4984.08 NGVD 1929 UNADJUSTED
 (2) CITY OF FORT COLLINS BENCHMARK 40-97
 ON THE SOUTHWEST WINGWALL TO THE BRIDGE OVER THE LARIMER AND WELD CANAL AT SHIELDS ST. BETWEEN WILLOX LANE AND LAWTON LANE.
 ELEVATION=4996.62 NGVD 1929 UNADJUSTED
 - Base flood elevations on this map are referenced to the NAVD 1988 datum. The FEMA recognized vertical datum offset to NGVD 1929 (unadjusted) for the Dry Creek floodplain is three (3.0) feet. i.e.: NAVD88=NGVD29+3.0

RUNOFF TABLE:

DESIGN POINT	BASINS	AREA (AC)	C10	C100	Q10(CFS)	Q100(CFS)
1	1	0.49	0.77	0.91	1.8	2.7
2	2	0.19	0.72	0.90	0.6	1.5
3	3	0.15	0.82	1.00	0.6	1.5
3	2,3	0.34	0.76	0.96	1.2	3.0
04	04	0.07	0.71	0.89	0.3	0.6
4	4	0.25	0.66	0.83	0.8	1.9
4	4,04	0.32	0.67	0.84	1.0	2.5
05	05	0.03	0.28	0.35	0.0	0.1
5	5	0.10	0.68	1.00	0.4	1.0
5	4,5,04,05	0.45	0.68	0.87	1.4	3.5
SITE	1-5	1.18	0.76	0.95	3.3	8.4

CALL UTILITY NOTIFICATION CENTER OF COLORADO
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 OR **1-303-232-1991** IN METRO DENVER
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED BY: *Ch. F. Fagan* 4/10/07
 City Engineer Date

CHECKED BY: *NA* Water & Wastewater Utility Date

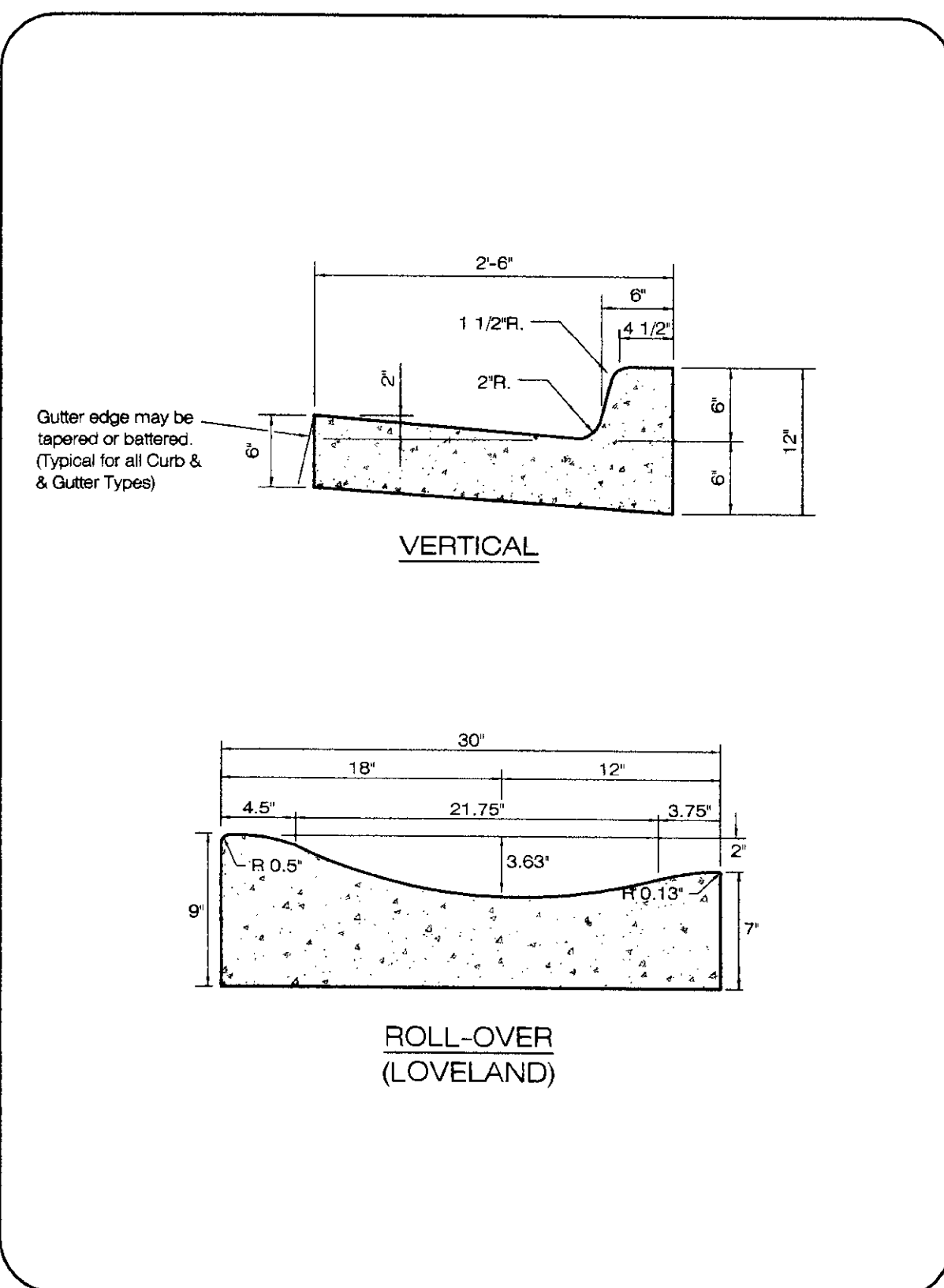
CHECKED BY: *Shawn D. Schuster* 4-9-07
 Stormwater Utility Date

CHECKED BY: *NA* Parks & Recreation Date

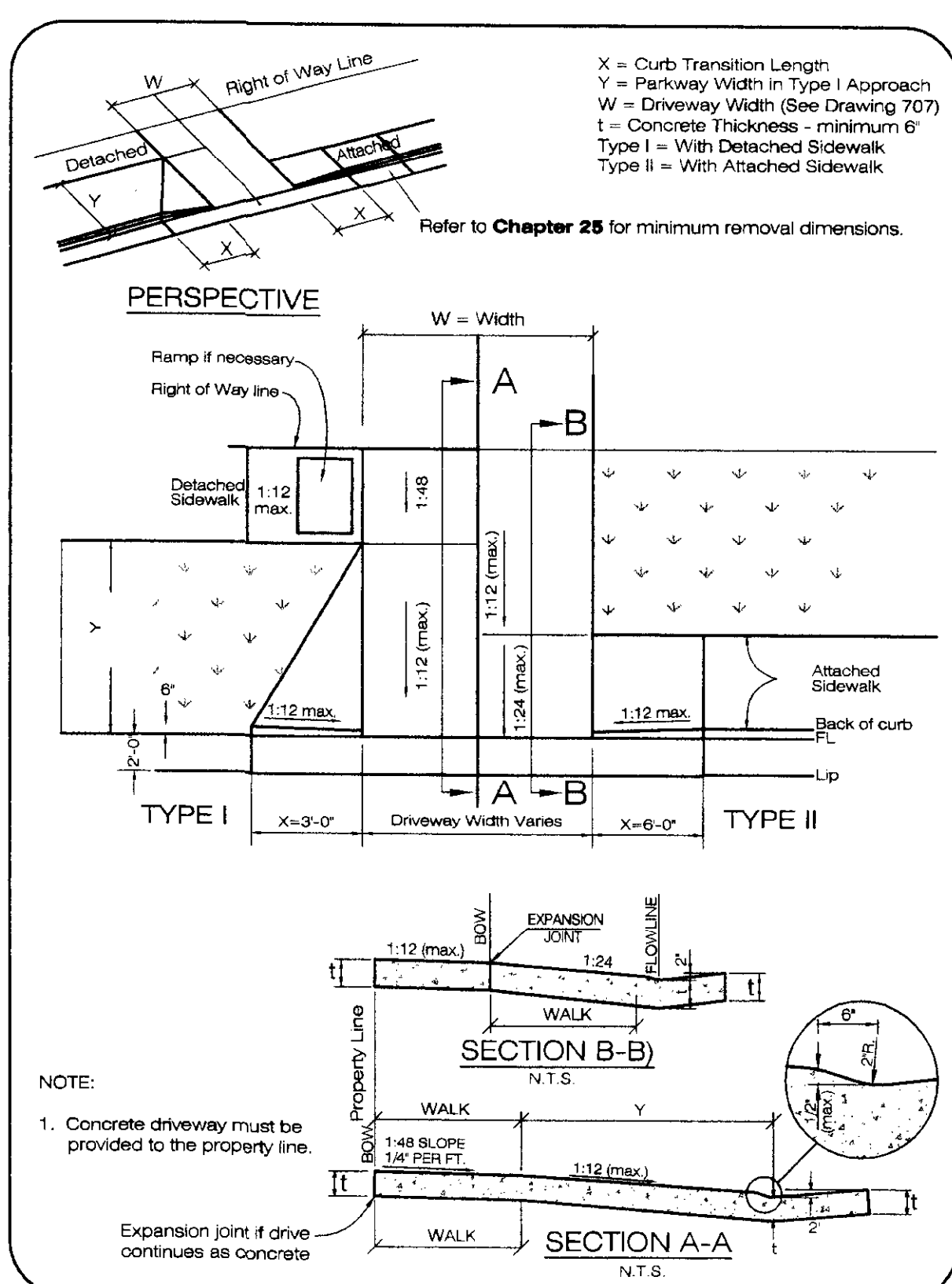
CHECKED BY: *NA* Traffic Engineer Date

CHECKED BY: _____ Date

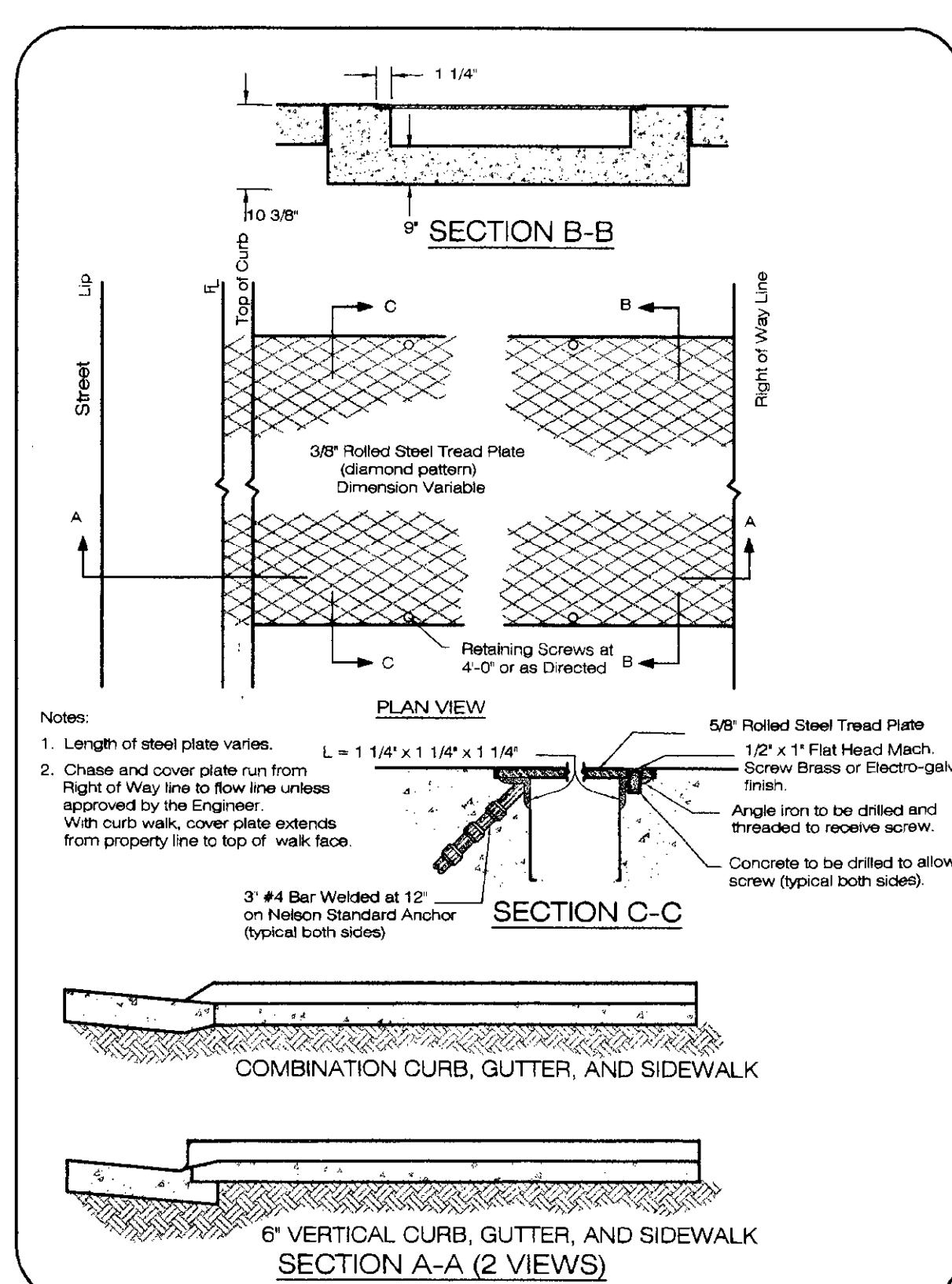
Date: _____
 By: _____
 Revisions: _____
 No. _____
DRAINAGE PLAN
 132 WILLOX LANE
 7 Sheet / 9 Sheets
 Project: WLD 03/14/07
 Scale: 1"=20'
 Prepared By: _____
 Reviewed By: _____
 JDD



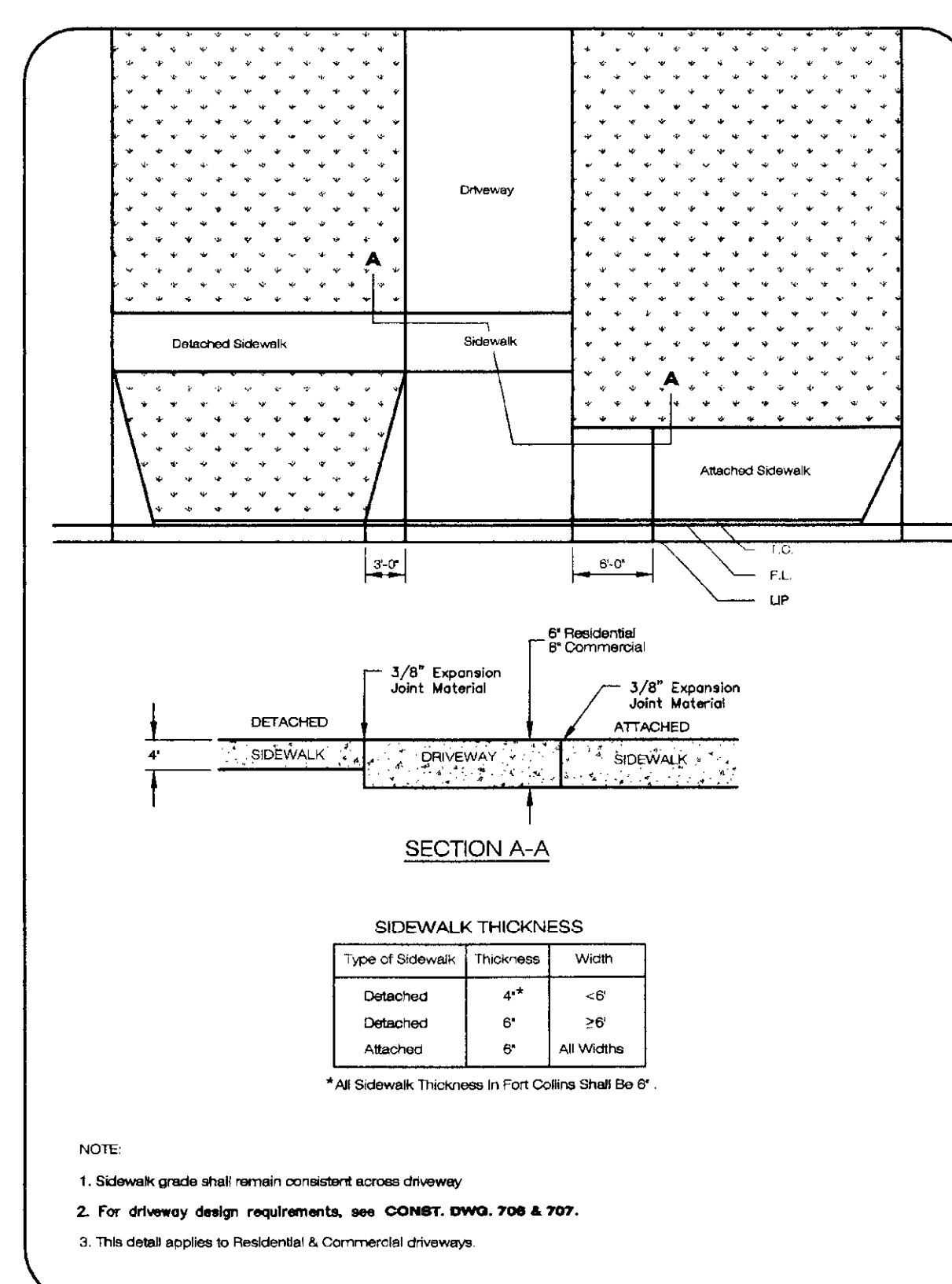
CURB AND GUTTER			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 701



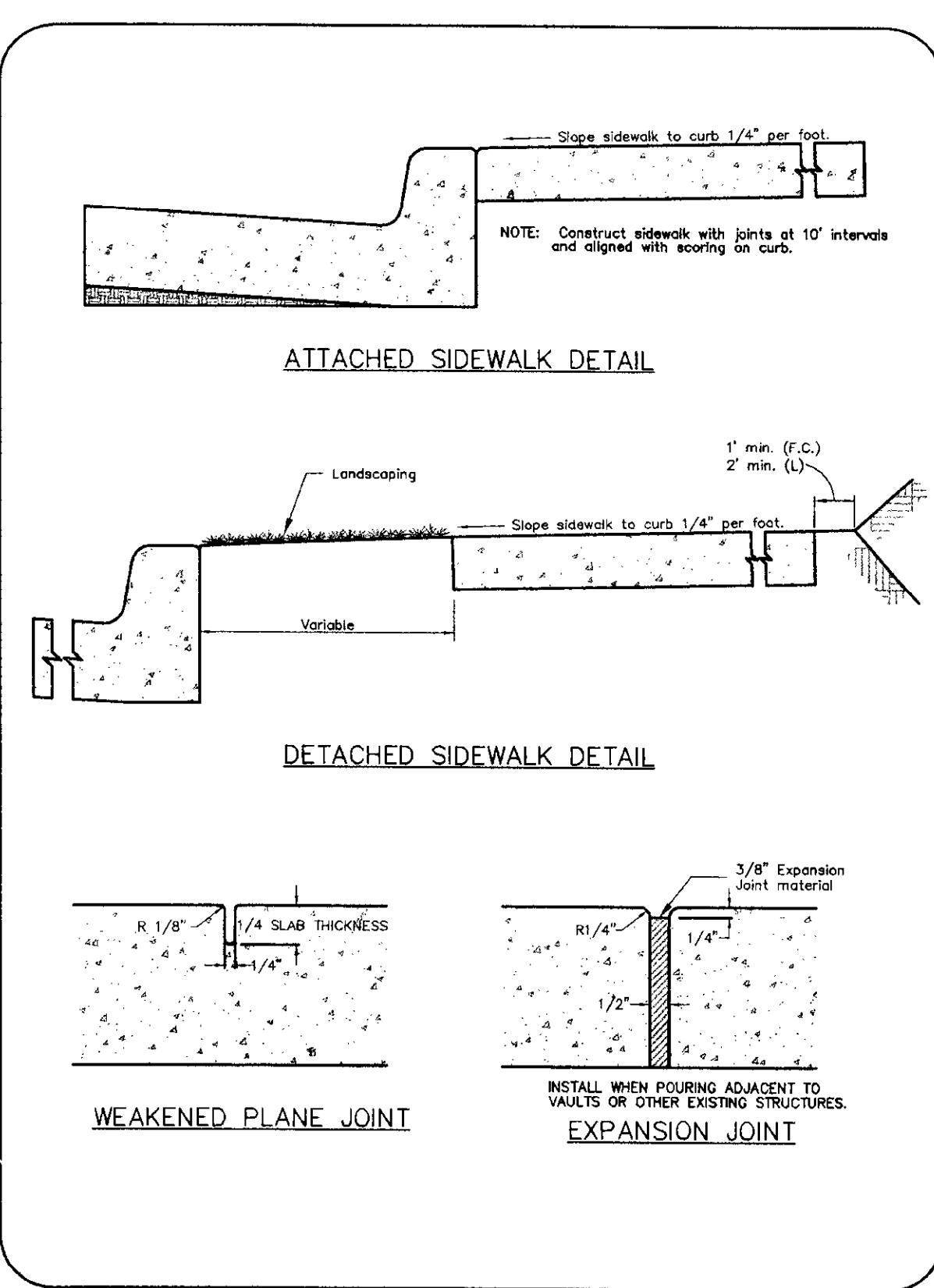
STANDARD DRIVEWAY APPROACH (TYPES I & II)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 706



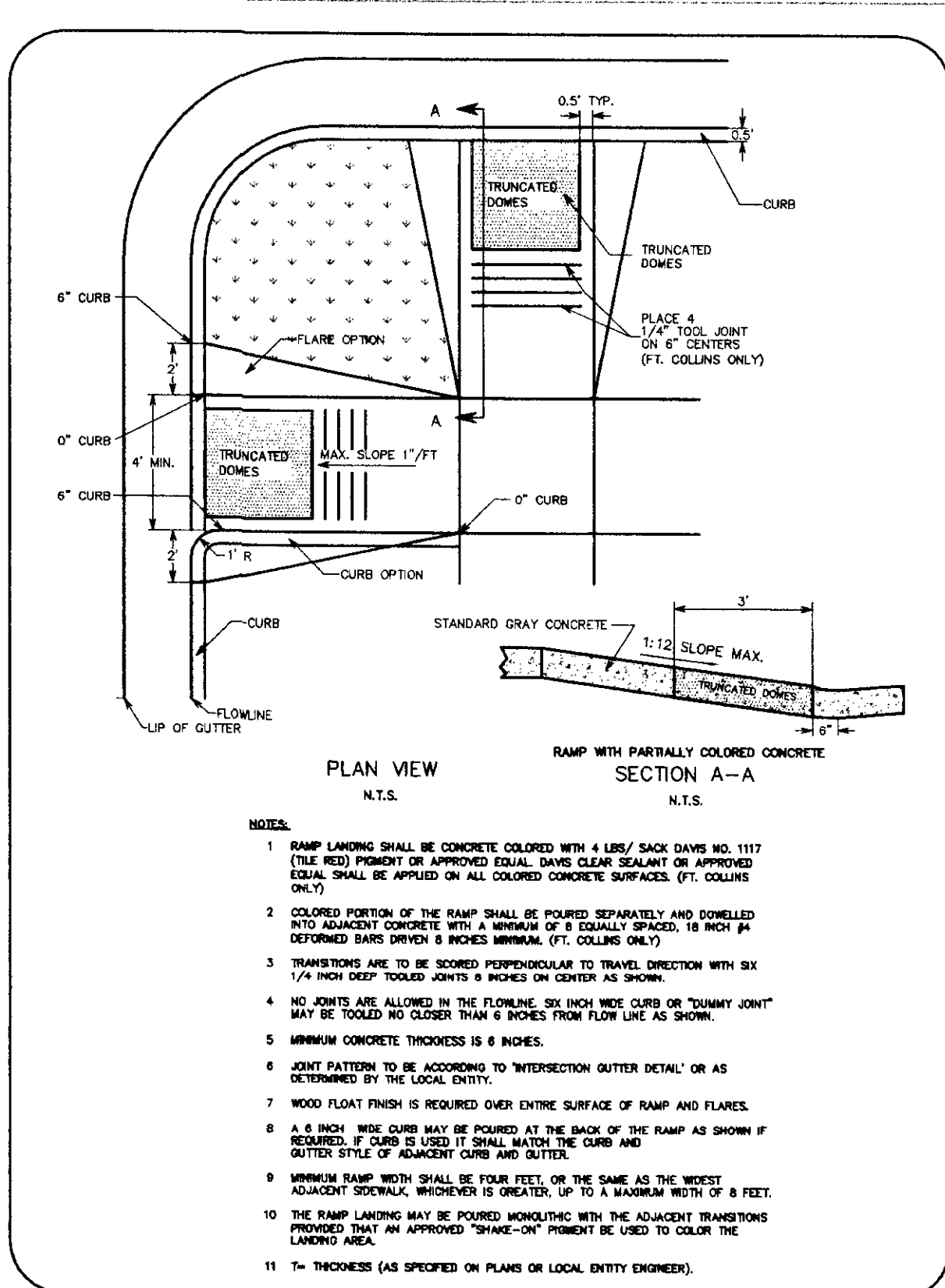
STANDARD DETAILS FOR DRAINAGE UNDER SIDEWALK			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 08/07/00	DRAWING 709



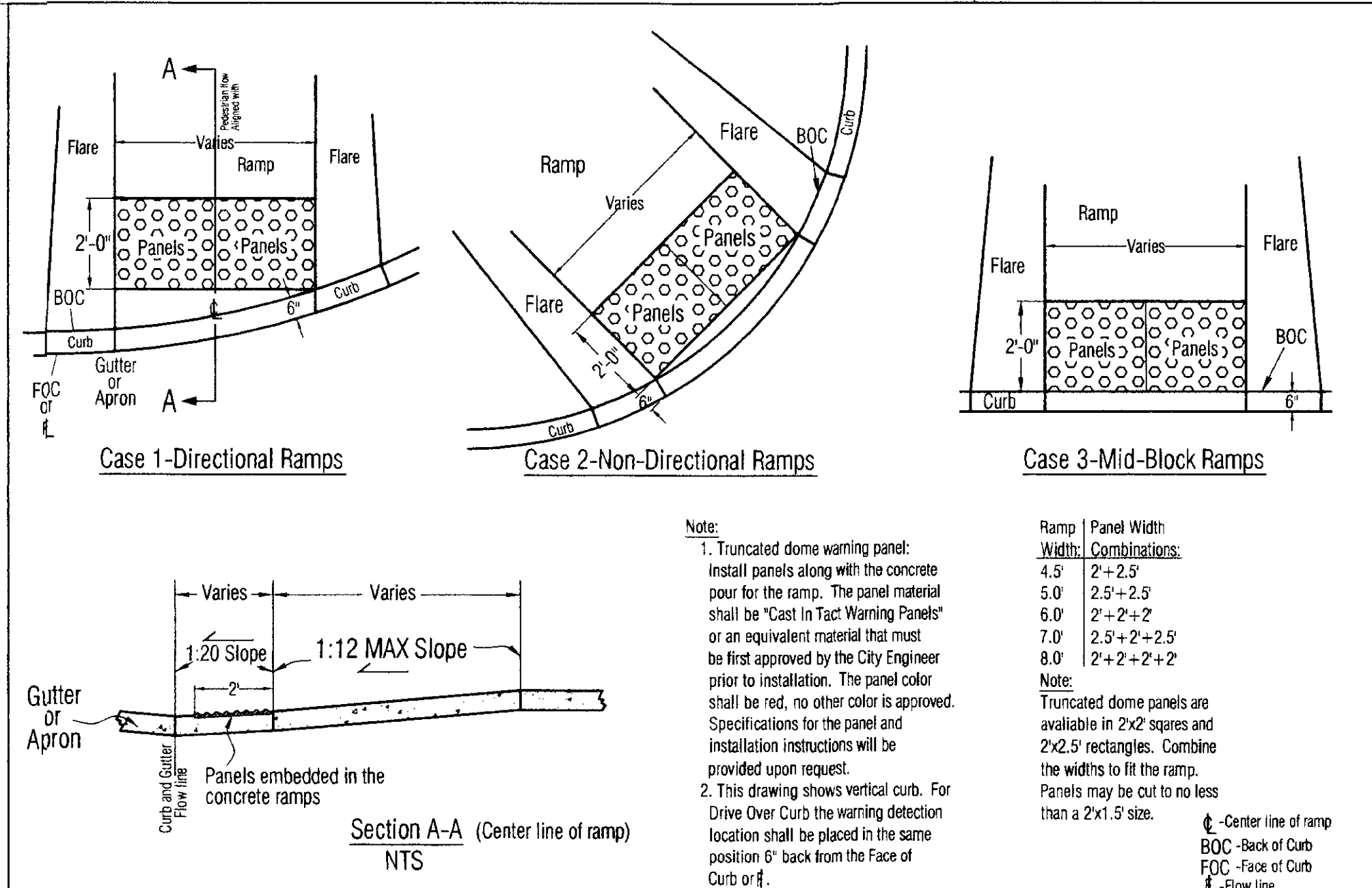
STANDARD SIDEWALK			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 08/07/00	DRAWING 1601



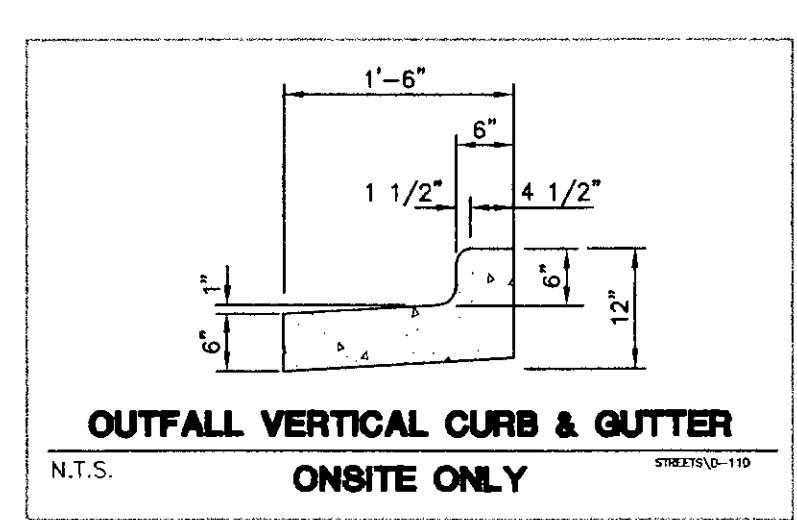
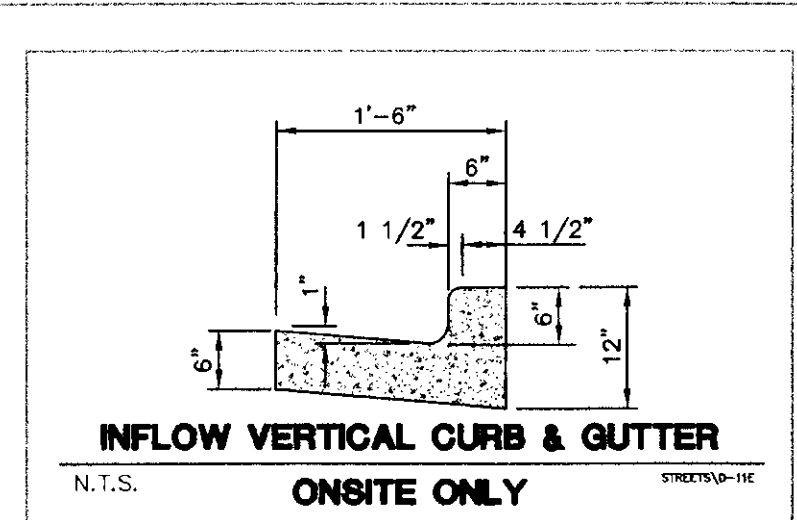
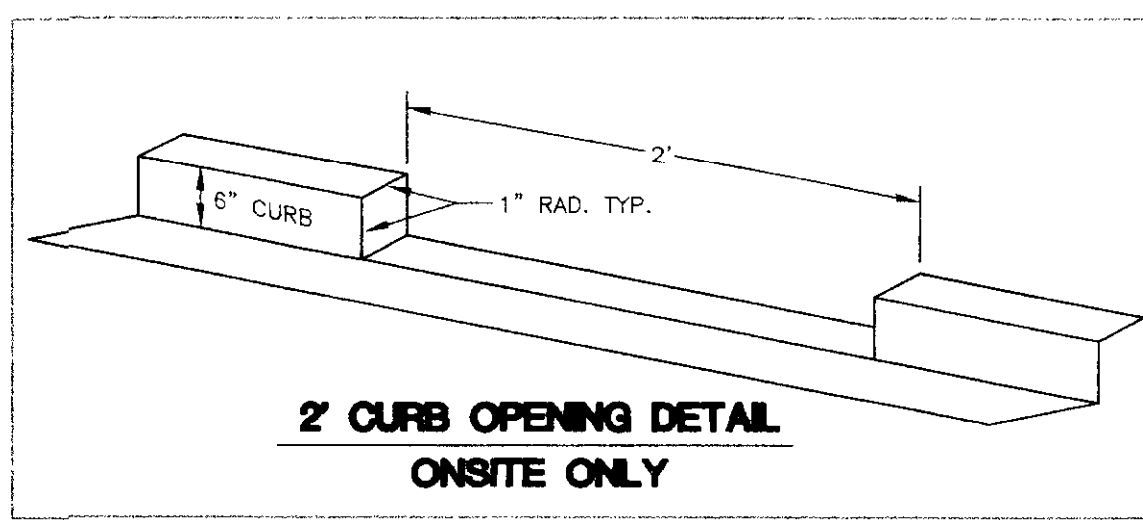
SIDEWALK DETAIL			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/02/01	DRAWING 1602



PEDESTRIAN RAMP DETAIL (For New Const. & Alterations)			
LARIMER COUNTY URBAN AREA STREET STANDARDS	CONSTRUCTION DRAWINGS	REVISION NO: 1 DATE: 03/01/02	DRAWING 1606



APPROVED: MRH 09/30/2004	Drawing No. Interim 1607(a)
REVISED:	

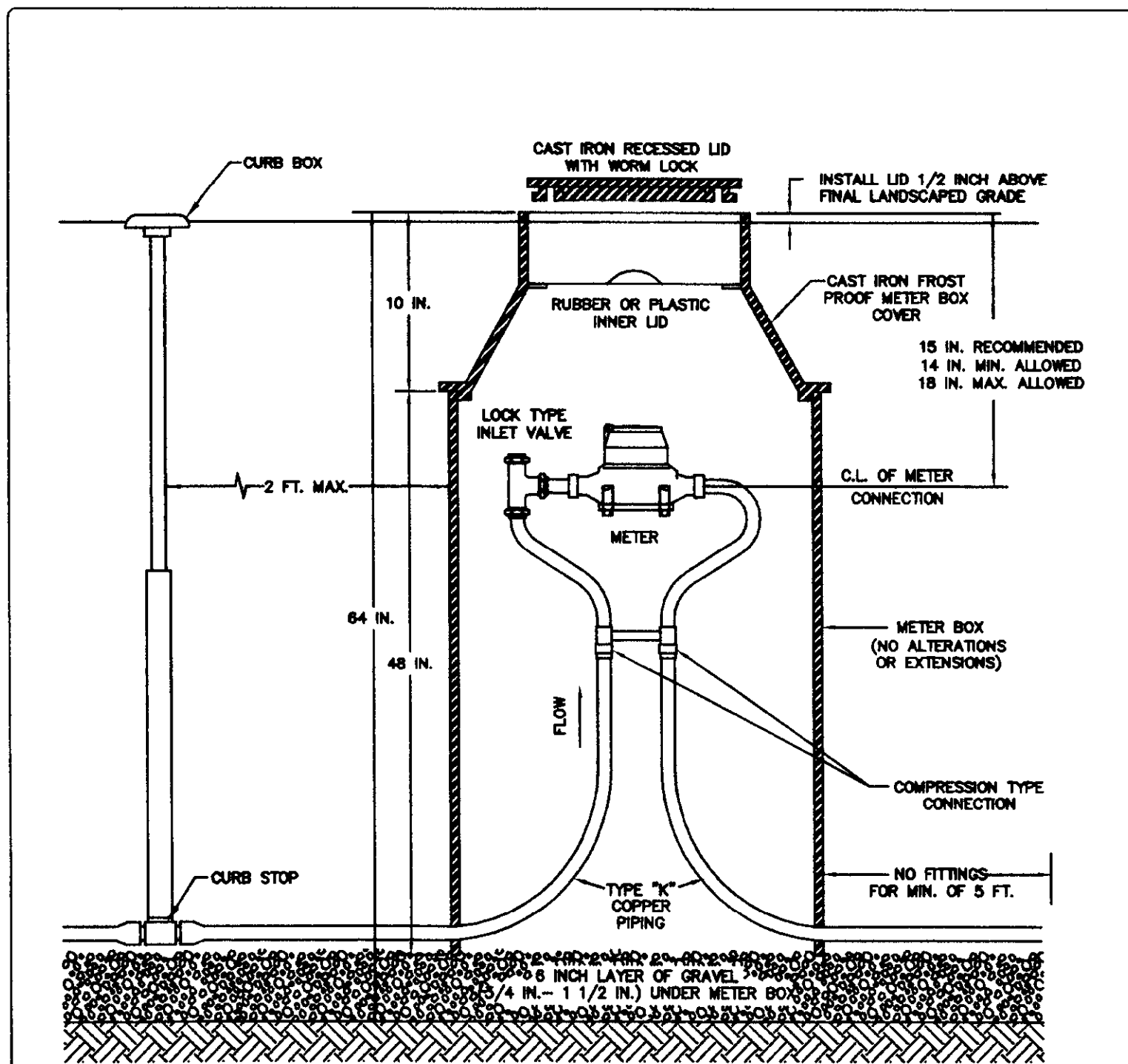


City of Fort Collins, Colorado UTILITY PLAN APPROVAL	
APPROVED: <i>[Signature]</i> 4/10/07	Date
CHECKED BY: <i>[Signature]</i>	Date
CHECKED BY: <i>[Signature]</i>	Date
CHECKED BY: <i>[Signature]</i>	Date
CHECKED BY: <i>[Signature]</i>	Date

132 WILLOX LANE
GENERAL DETAILS

8 Sheet / 9 Sheets

DMW CIVIL ENGINEERS
1435 West 28th Street, Loveland, Colorado, 80538
Phone: (970)461-2861, Fax: (970)461-2865
www.dmwengineers.com

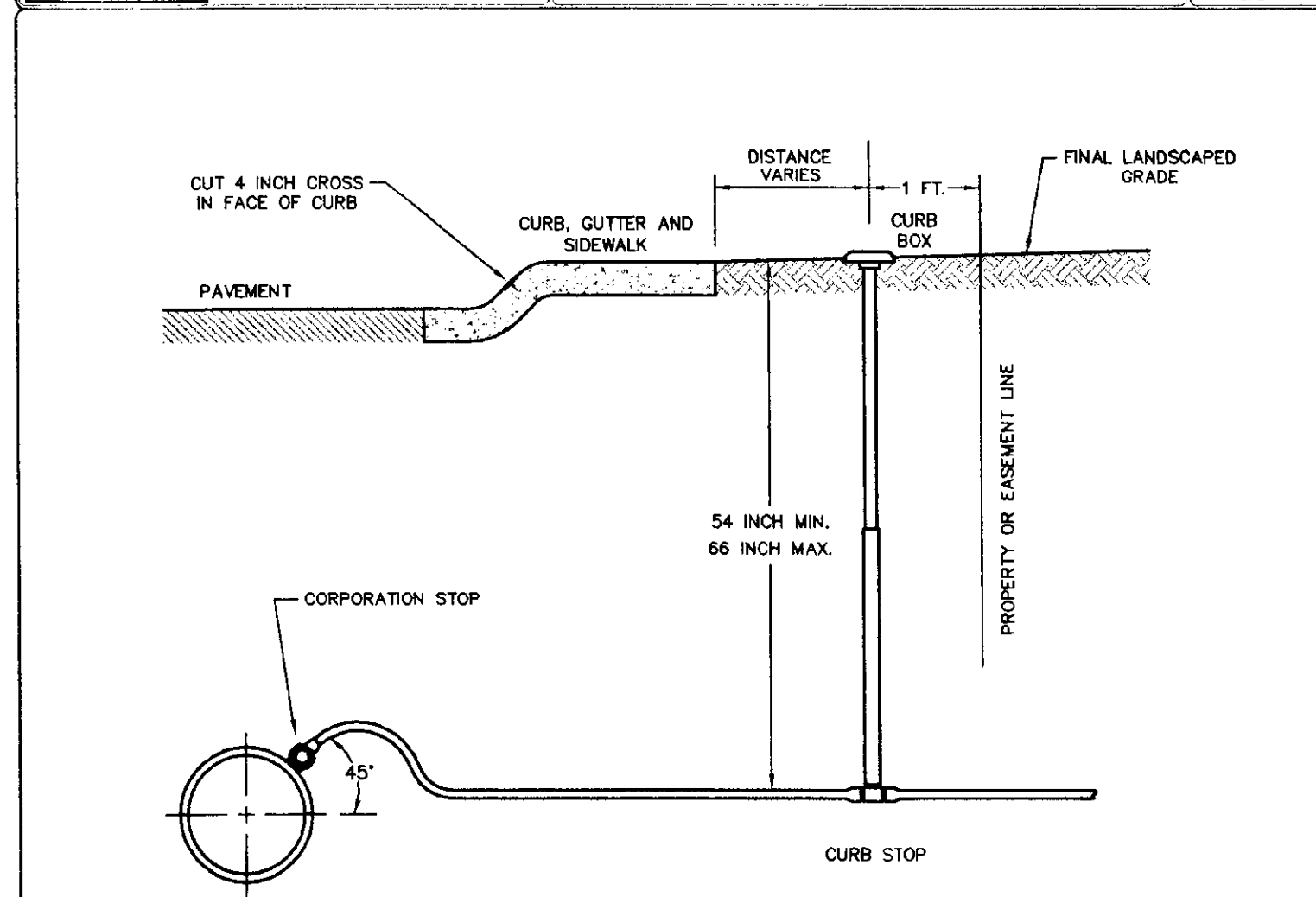


- GENERAL NOTES**
- Do not install in any street, alley, parking area, driveway, sidewalk, drainage ditch or detention basin.
 - No landscaping (shrubs, boulders, etc.) or structures to be within 4 feet of meter box, or No trees within 10 feet of meter box.
 - Slope ground surrounding meter box away from lid at 2% minimum grade.
 - Make no plumbing connections (tees, couplings, etc.) in meter box.
 - All tees and connection fittings to be a minimum of 5 feet from meter box wall on outlet side.
 - Grade acceptance after meter box installation requires that the owner adjust meter box cover to 1/2 inch above final grade.
 - If a pressure reducing valve is required by Plumbing Code, install valve inside the building, immediately following the main shut-off valve.

CITY OF FORT COLLINS UTILITIES WATER FIELD OPERATIONS
 P.O. BOX 500, FORT COLLINS, CO. 80502 (970) 821-6700

STANDARD EXTERIOR SETTING FOR 3/4 IN. AND 1 IN. WATER METERS

DATE: 7/9/08
 DETAIL 15

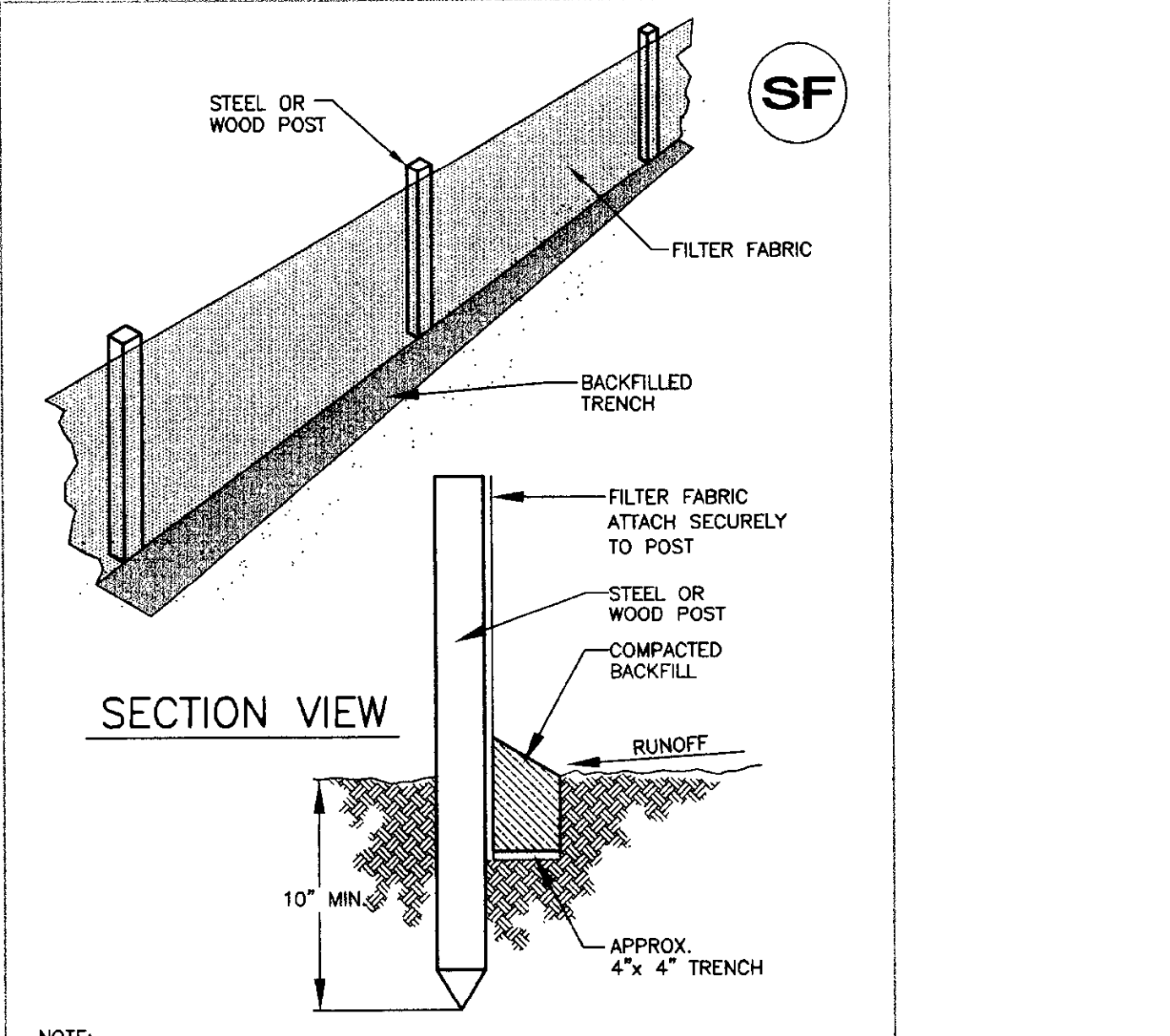
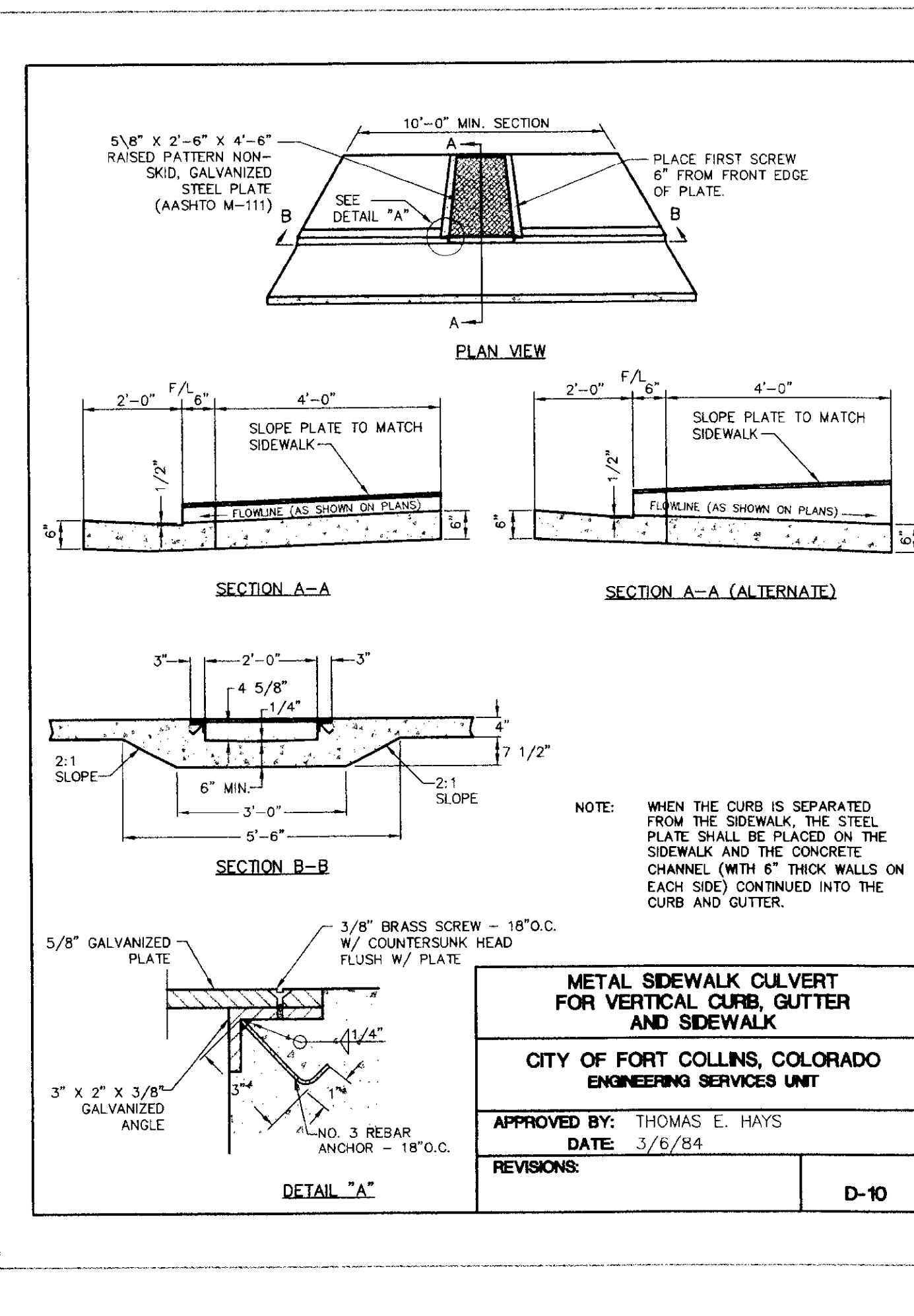
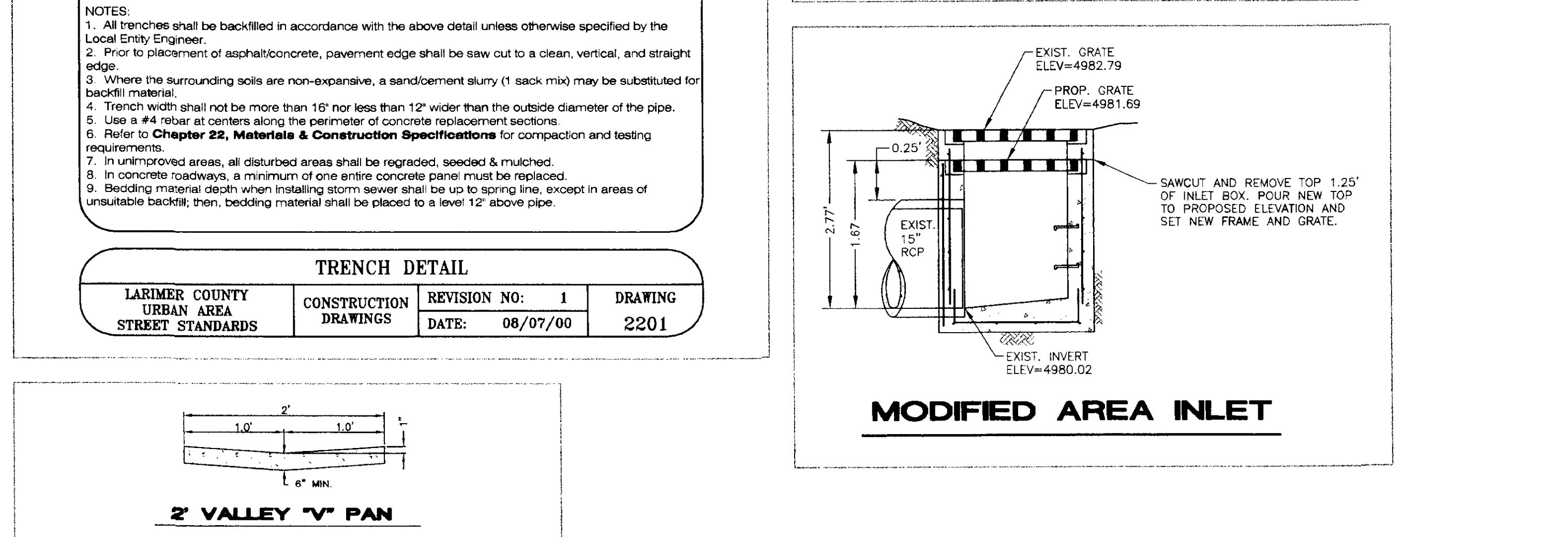
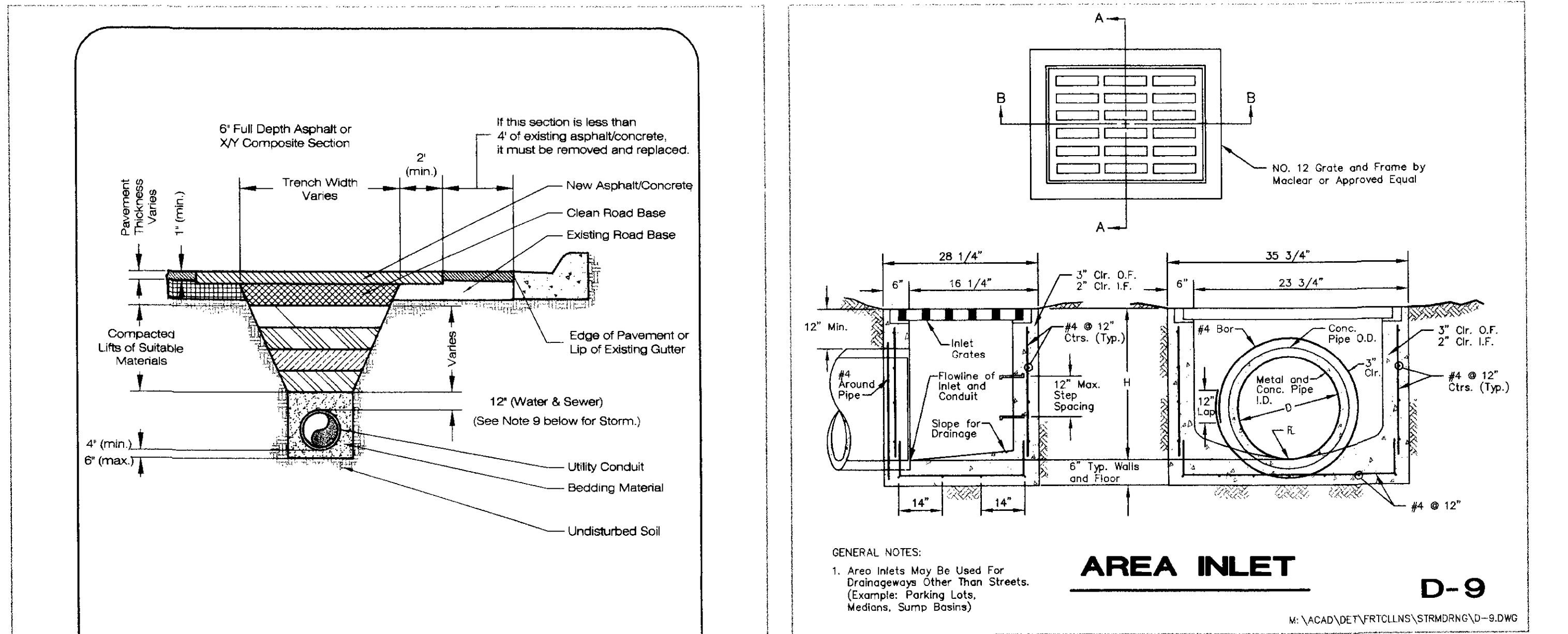
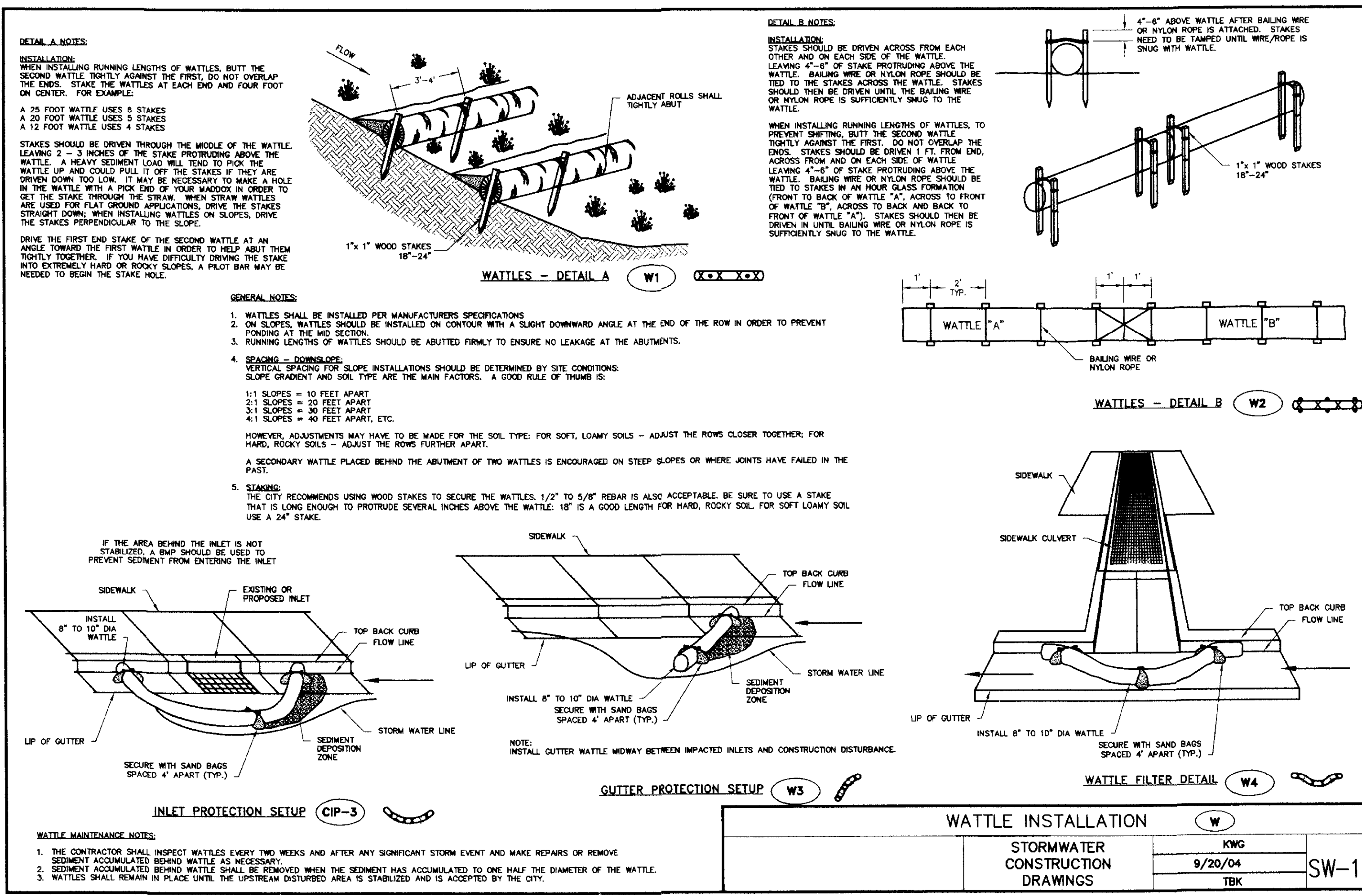


- GENERAL NOTES**
- Use direct tap (as shown) for 3/4 inch and 1 inch services unless water main is PVC, in which case, use a tapping saddle.
 - Install 1 1/2 inch and 2 inch services with topped tee and corporation stop at time of construction or use a tapping saddle.
 - Locate curb box and meter pit according to the approved utility drawings.
 - The City is responsible for maintaining the water main, corporation stop, and service piping up to and including the curb stop. The owner is responsible for service from the curb stop, including the outlet coupling to the building.
 - No couplings allowed between curb stop and meter setting.
 - Use type K copper for the service from the corporation stop to a minimum of 5 feet past the meter pit.
 - No landscaping (shrubs, boulders, etc.), retaining walls or fences allowed within 4 feet of the curb stop and meter pit, and no trees within 10 feet of curb and meter pit.
 - All residential water service shall be installed in the center of the lot unless otherwise approved by the Utility.
 - All water and sanitary sewer service shall have a minimum horizontal separation of ten feet.

CITY OF FORT COLLINS UTILITIES WATER FIELD OPERATIONS
 P.O. BOX 500, FORT COLLINS, CO. 80502 (970) 821-6700

TYPICAL WATER SERVICE

DATE: 7/9/08
 DETAIL 11



City of Fort Collins, Colorado
 UTILITY PLAN APPROVAL

APPROVED: *[Signature]* 4/10/07
 City Engineer Date

CHECKED BY: *[Signature]* 4/2/07
 Water/Wastewater Utility Date

CHECKED BY: *[Signature]* 4-9-07
 Stormwater Utility Date

CHECKED BY: *[Signature]* _____
 Parks and Recreation Date

CHECKED BY: *[Signature]* _____
 Traffic Engineer Date

CHECKED BY: _____
 Date

Project: WLD 03/14/07
 Scale: N.A.
 Prepared By: N.A.
 Reviewed By: N.A.

9 Sheet 9 Sheets

ADDITIONAL C-3 353

132 WILLOX LANE
 GENERAL DETAILS

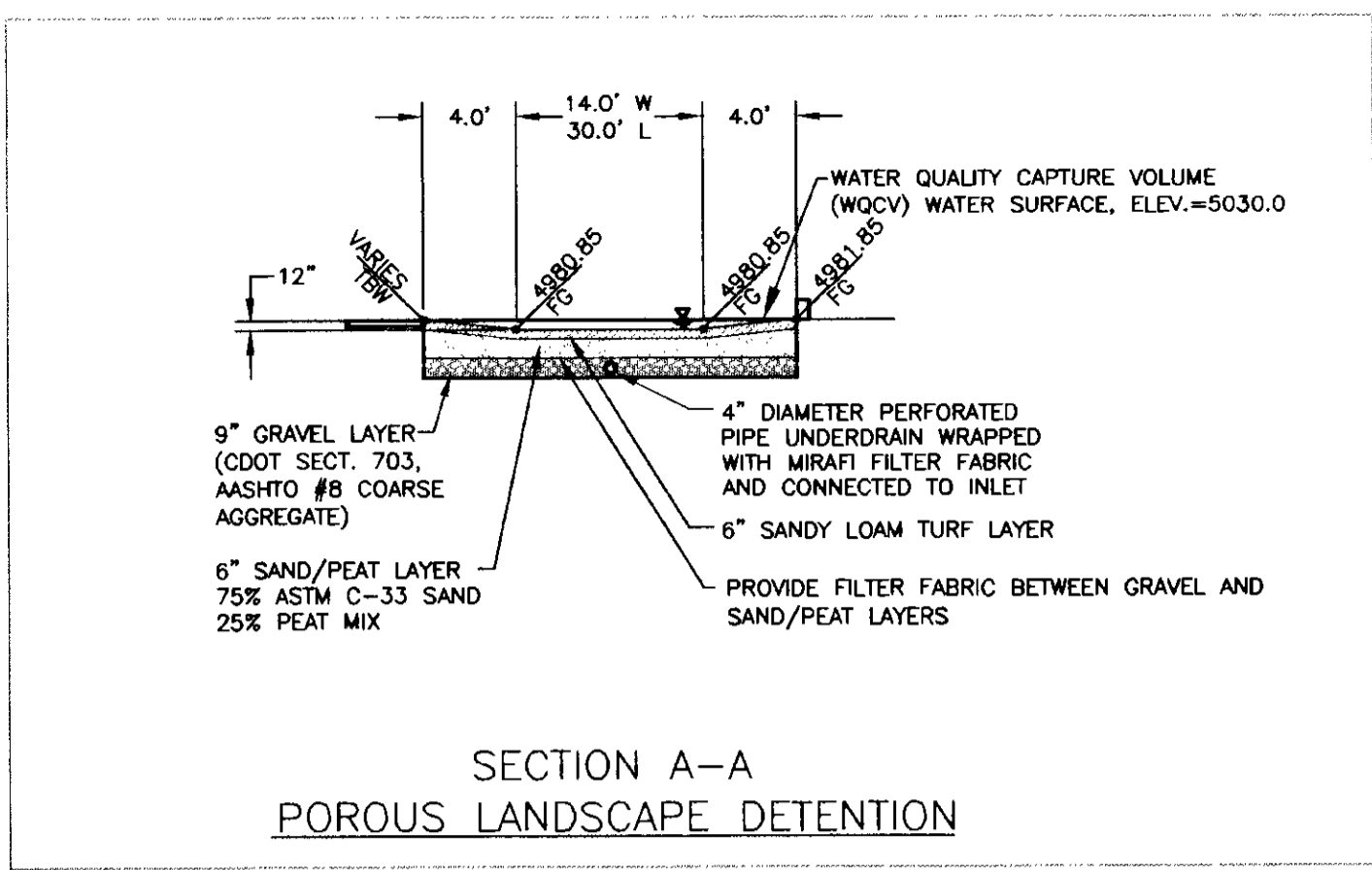
DM
 CIVIL ENGINEERS

1438 West 29th Street, Loveland, Colorado, 80538
 Phone: (970) 481-2861, Fax: (970) 481-2865
 www.dmcivil.com

Project: WLD 03/14/07
 Scale: N.A.
 Prepared By: N.A.
 Reviewed By: N.A.

4/17/07

REVISED



LEGEND:

- EXISTING STORM SEWER
- EXISTING STORM SEWER WITH INLET
- PROPOSED STORM SEWER / CULVERT
- PROPOSED STORM SEWER WITH INLET
- 5020 EXISTING CONTOUR
- 20 PROPOSED CONTOUR
- PROJECT BOUNDARY
- CP-1 INLET BLOCK & GRAVEL FILTER
- CP-3 WATTLE INLET PROTECTION
- CWA CONCRETE WASHOUT AREA
- DP-3 DROP INLET WATTLE FILTER
- SB SEDIMENT BASIN
- SF SILT FENCE
- ST SEDIMENT TRAP
- VTC VEHICLE TRACKING CONTROL PAD
- WD WATTLE DIKE

LEGEND

- PROPOSED WATER MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED THRUST RESTRAINT
- PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
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- EXISTING UNDERGROUND CABLE LINES
- EXISTING POWER LINES
- EXISTING TELEPHONE LINES
- EXISTING TELEPHONE PEDESTAL
- EXISTING STREET LIGHT
- EXISTING POWER VAULT
- EXISTING STORM SEWER
- EXISTING STORM SEWER AND INLET
- EXISTING STREET SIGN
- EXISTING FENCE
- EXISTING MAILBOX

CONSTRUCTION SEQUENCE
SEQUENCE FOR: 2007 COMPLETED BY: JPM DATE: 01/09/07

CONSTRUCTION PHASE:	MONTH	1	2	3	4	5	6	7	8	9	10	11	12
Grading (Include Offsite)													
Overlot													
Detention/WQ Ponds													
Swales, Drainageways, Streams													
Ditches													
Pipeline Installation (Include Offsite)													
Water													
Sanitary Sewer													
Stormwater													
Concrete Installation (Include Offsite)													
Area Inlets													
Curb Inlets													
Pond Outlet Structures													
Curb and Gutter													
Box Culverts, Bridges													
Street Installation (Include Offsite)													
Grading/Base													
Pavement													
Miscellaneous (Include Offsite)													
Drop Structures													
Other													
BEST MANAGEMENT PRACTICES:													
STRUCTURAL													
Silt Fence Barriers													
Contour Furrows													
Sediment Trap/Filter													
Vehicle Tracking Pads													
Flow Barriers (bales, watties)													
Inlet Filter													
Sand Bags													
Bare Soil Preparation													
Terracing													
Stream Flow Diversion													
Rip Rap													
Other													
VEGETATIVE													
Temporary Seed Planting													
Mulching/Sealant													
Permanent Seed Planting													
Sod Installation													
Nettings/Blankets/Mats													
Other													
STRUCTURES: INSTALLED BY _____ MAINTAINED BY _____													
VEGETATION/MULCHING CONTRACTOR _____													
DATE SUBMITTED: 01/09/07 APPROVED BY CITY OF FORT COLLINS ON _____													
M:\ACAD\DET\FRTLLNS\STRDRNG\CONSTRSQ.DWG													

FLOODPLAIN NOTES:

- According to FEMA Flood Insurance Rate Map for Fort Collins, Community Panel 08069C-0977-F Revised December 19, 2006 this Parcel is completely within the FEMA Designated Flood Zone "AE". The Zone "AE" boundary is not indicated on this map because it is beyond the limits of the map and encompasses the entire area (see FIRM Panel 08069C-0977-F included with this application for zone boundaries).
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(2) CITY OF FORT COLLINS BENCHMARK 40-97 ON THE SOUTHWEST SHINGWALL TO THE BRIDGE OVER THE LARIMER AND WELD CANAL AT SHIELDS ST. BETWEEN WILLOX LANE AND LAWTON LANE. ELEVATION=4996.62 NGVD 1929 UNADJUSTED
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POND 1

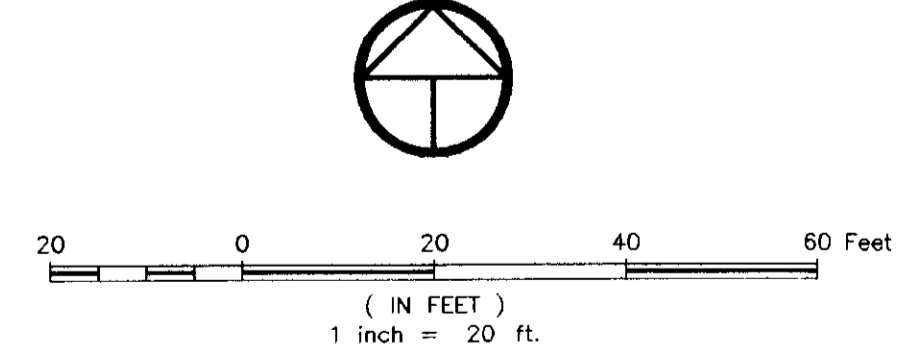
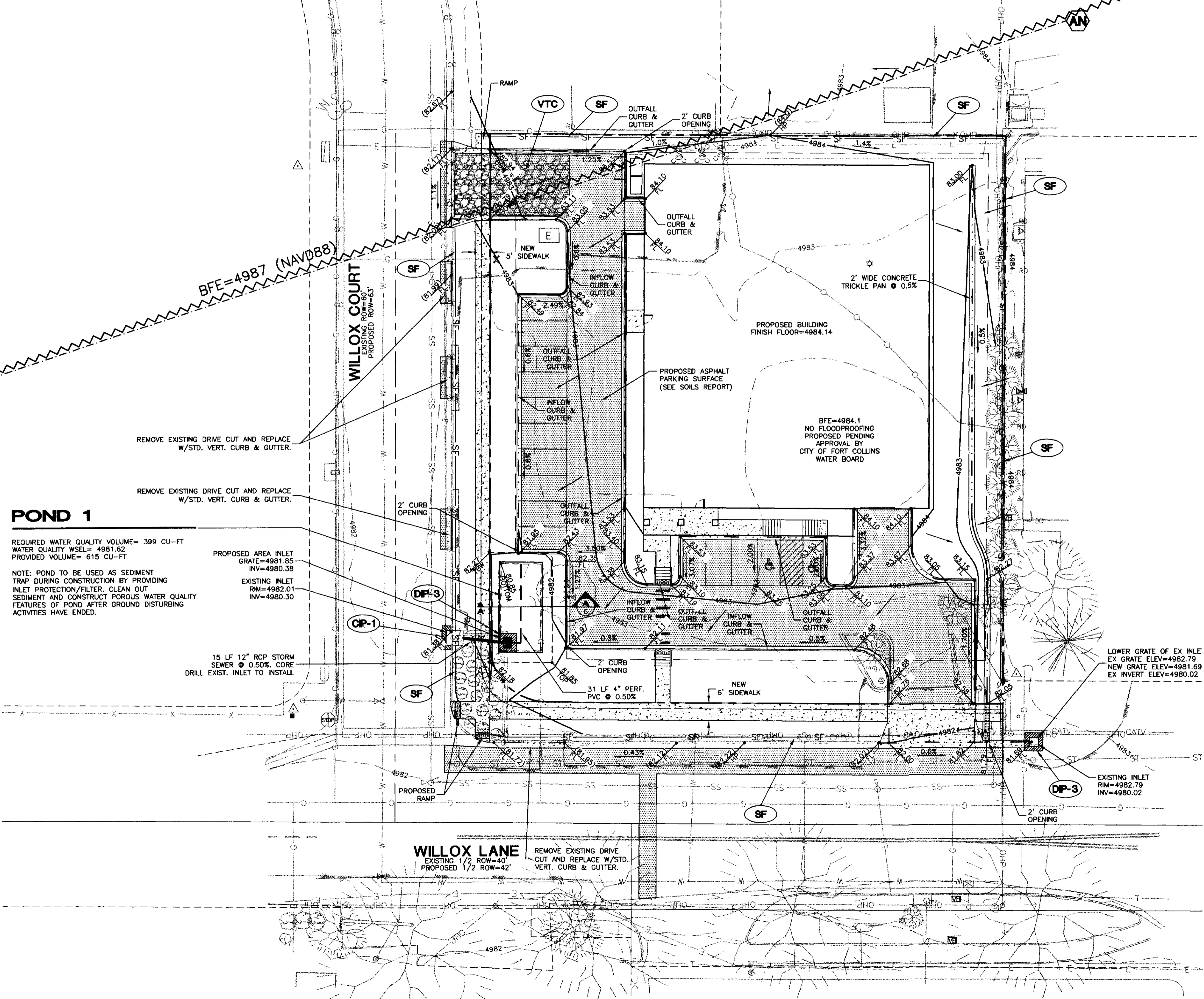
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WATER QUALITY WSEL= 4981.62
PROVIDED VOLUME= 615 CU-FT

NOTE: POND TO BE USED AS SEDIMENT TRAP DURING CONSTRUCTION BY PROVIDING INLET PROTECTION/FILTER. CLEAN OUT SEDIMENT AND CONSTRUCT POROUS WATER QUALITY FEATURES OF POND AFTER GROUND DISTURBING ACTIVITIES HAVE ENDED.

PROPOSED AREA INLET GRATE=4981.65
INV=4980.38

EXISTING INLET RIM=4982.01
INV=4980.30

15 LF 12" RCP STORM SEWER @ 0.50% CORE DRILL EXIST. INLET TO INSTALL



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: *[Signature]* Date: 4/16/07

CHECKED BY: *NA* Date: _____
Water & Wastewater Utility

CHECKED BY: *[Signature]* Date: 4-20-07
Stormwater Utility

CHECKED BY: *NA* Date: _____
Parks & Recreation

CHECKED BY: *NA* Date: _____
Traffic Engineer

CHECKED BY: _____ Date: _____

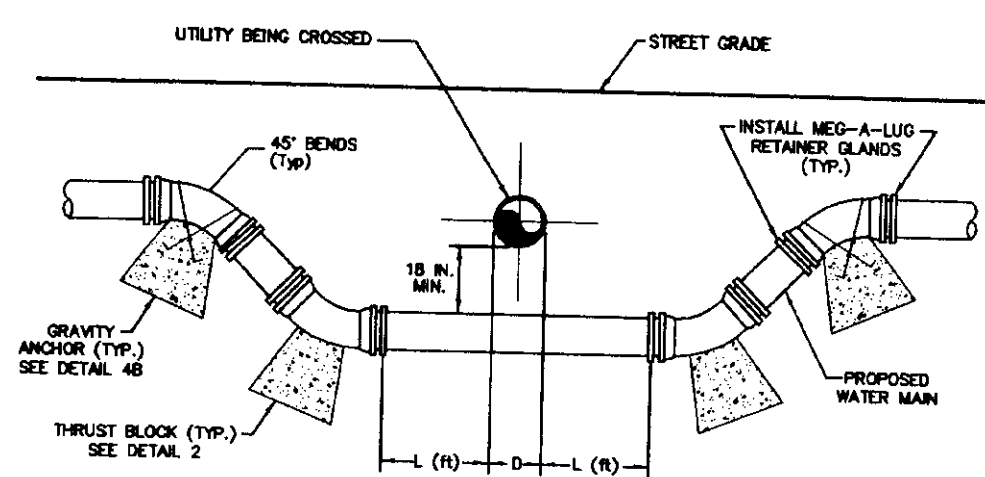
REVISED C-3 353



132 WILLOX LANE GRADING AND EROSION CONTROL PLAN

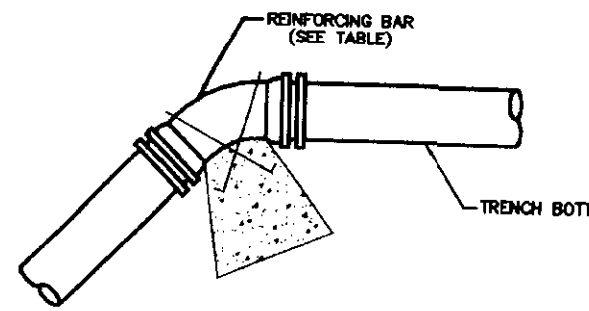


Project: WLD 03/11/07
Scale: 1"=20'
Designed By: _____
Reviewed By: _____



GENERAL NOTES:
 1. SEE DETAIL 2 FOR THRUST BLOCK SIZING.
 2. SEE DETAIL 4B FOR GRAVITY BLOCK SIZING.
 3. ALL FITTINGS AND JOINTS IN LOWERING AREA TO BE RESTRAINED IN ACCORDANCE WITH SECTION 02815-2.6A OR SECTION 02822-2.2A AS APPLICABLE.
 4. ALL D.P.P. PIPE AND FITTINGS SHALL BE WRAPPED WITH POLYETHYLENE ENCASEMENT.

D	L(R)
4"-24"	3'
25"-48"	5'
49"-66"	7'
>66"	10'



NOTE:
 RESTRAIN ALL FITTINGS AND JOINTS.
 VOLUMES SHOWN ON TABLE ARE BASED ON 120 P.S.I. INTERNAL STATIC PRESSURE. VALUES FOR ANY PRESSURE MAY BE OBTAINED BY MULTIPLYING TABULATED VALUES BY A CORRECTION FACTOR "F".
 * = ACTUAL PRESSURE.
 (REQUIRED FOR VERTICAL BEND GRAVITY ANCHORS FOR 120 P.S.I. PRESSURE).

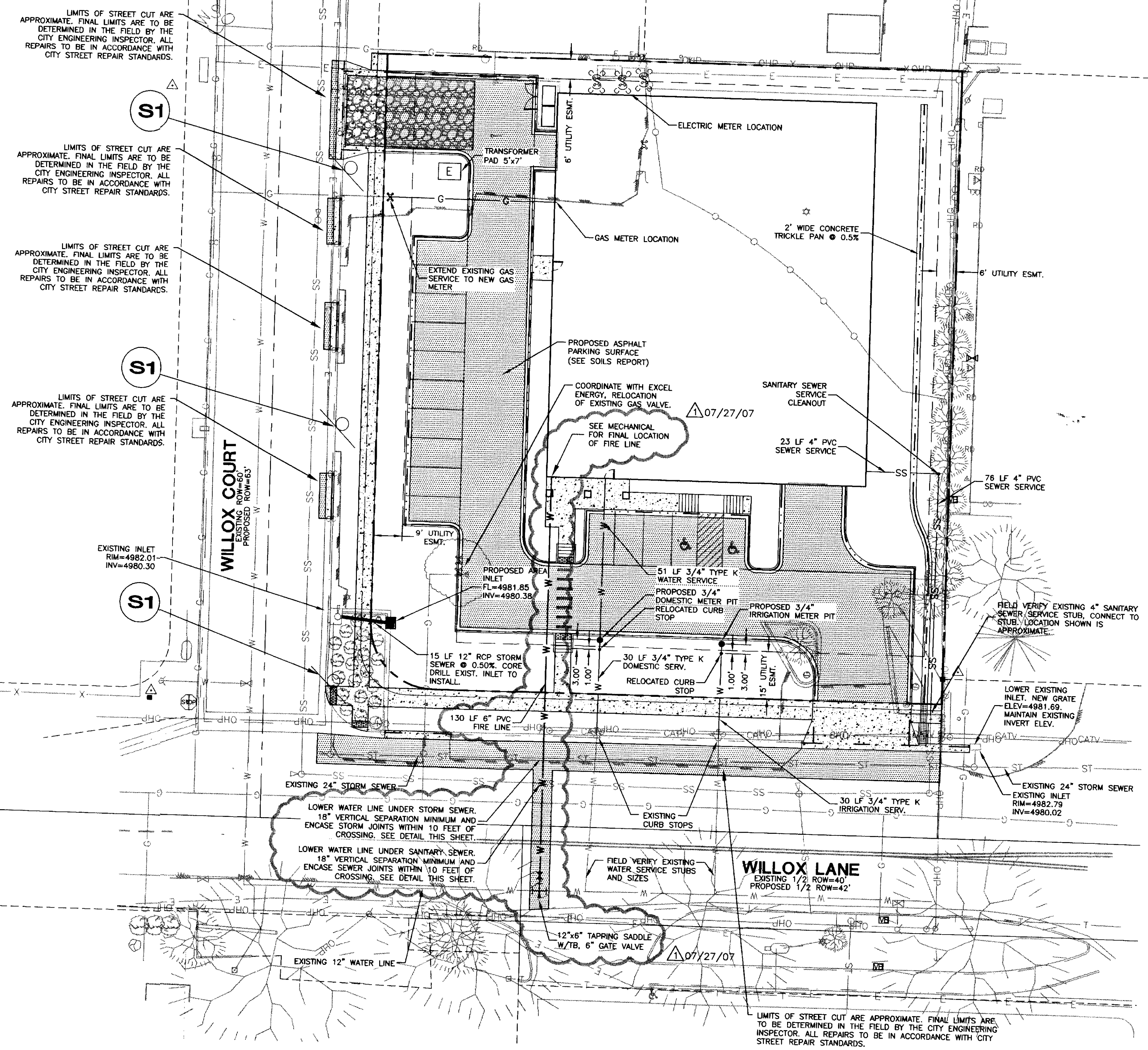
BAR SIZES FOR 120 P.S.I.

LESS THAN	NO. OF BARS & SIZE
800'	2 1/2 IN.
800'	2 5/8 IN.
1300'	2 3/4 IN.
2000'	2 1 IN.
4000'	2 1 IN.
6000'	3 1 IN.

CONCRETE GRAVITY BLOCK VOLUME

WATER MAIN SIZE (INCHES)	BENDS		
	45° (FT.F)	22 1/2° (FT.F)	11 1/4° (FT.F)
4	15.9	8.6	4.4
8	36.3	18.1	9.7
8	82.4	33.8	17.2
10	95.4	51.8	26.3
12	138.4	73.8	37.8
14	184.7	100.0	51.0
16	240.9	130.4	66.5

GRAVITY ANCHOR DETAIL

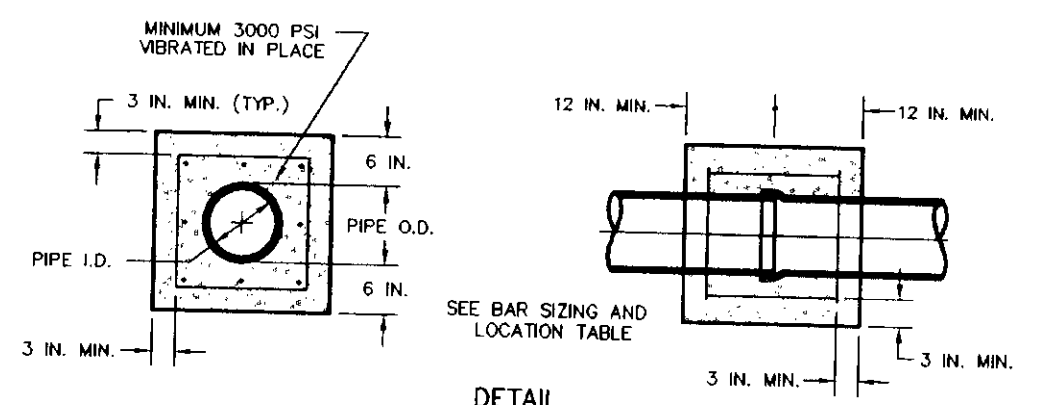
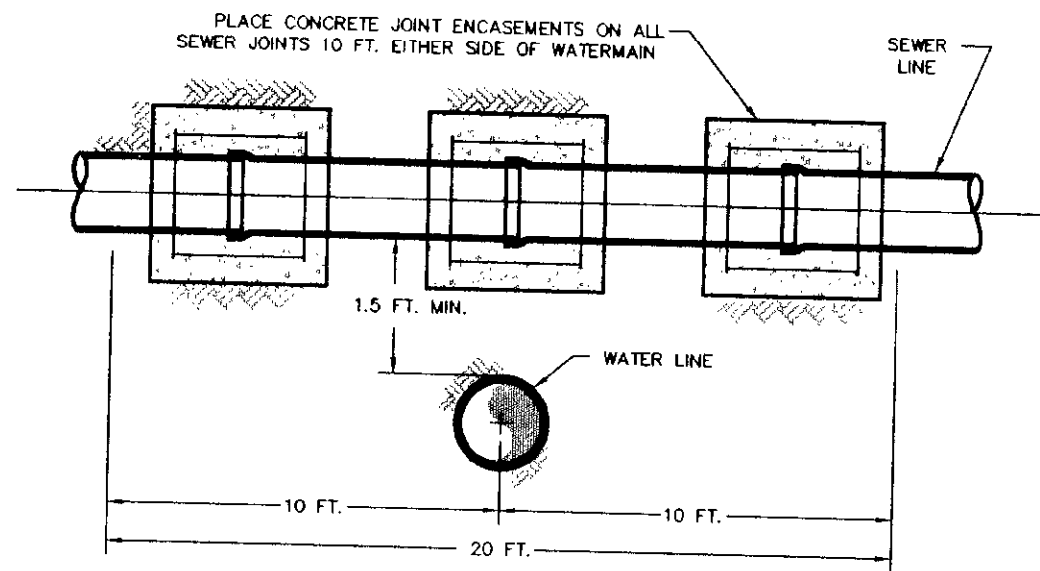


LIMITS OF STREET CUT ARE APPROXIMATE. FINAL LIMITS ARE TO BE DETERMINED IN THE FIELD BY THE CITY ENGINEERING INSPECTOR. ALL REPAIRS TO BE IN ACCORDANCE WITH CITY STREET REPAIR STANDARDS.

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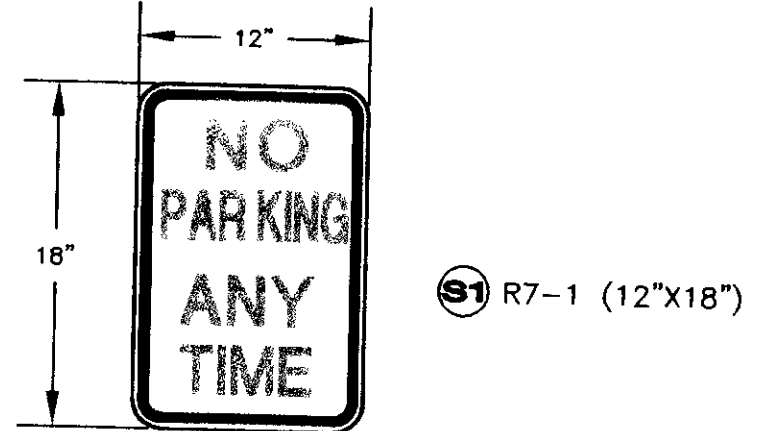
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PIPE I.D. NO. OF LONGITUDINAL BARS AND LOCATION

15 IN.	8 - NO. 4 BARS	3 EACH	SIDE
18 IN.	8 - NO. 4 BARS	3 EACH	SIDE
21 IN.	12 - NO. 4 BARS	4 EACH	SIDE
24 IN.	12 - NO. 4 BARS	4 EACH	SIDE
27 IN.	12 - NO. 4 BARS	4 EACH	SIDE
30 IN.	12 - NO. 4 BARS	4 EACH	SIDE
33 IN.	12 - NO. 4 BARS	4 EACH	SIDE
36 IN.	16 - NO. 4 BARS	5 EACH	SIDE

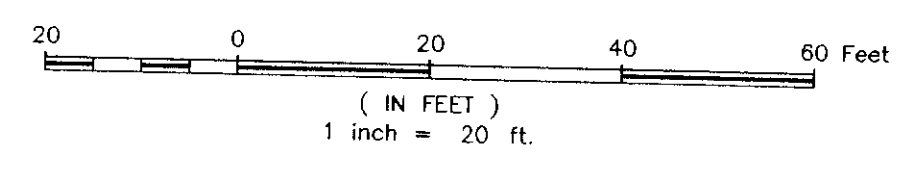


NO PARKING SIGN DETAIL NTS

LEGEND

- PROPOSED WATER MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED THRUST RESTRAINT
- PROPOSED WATER SERVICE
- PROPOSED SEWER MAIN
- PROPOSED SEWER SERVICE
- PROPOSED STORM SEWER OR CULVERT
- PROPOSED STORM SEWER W/ INLET
- PROPOSED SWALE
- PROPERTY BOUNDARY
- EXISTING WATER MAIN
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE
- EXISTING POWER POLE W/ GUY WIRE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND GAS
- EXISTING UNDERGROUND CABLE LINES
- EXISTING POWER LINES
- EXISTING TELEPHONE LINES
- EXISTING TELEPHONE PEDESTAL
- EXISTING STREET LIGHT
- EXISTING POWER VAULT
- EXISTING STORM SEWER
- EXISTING STORM SEWER AND INLET
- EXISTING STREET SIGN
- EXISTING FENCE
- EXISTING MAILBOX
- EXISTING SANITARY SEWER

CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
 OR **1-303-232-1991** IN METRO DENVER
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



City of Fort Collins, Colorado
UTILITY PLAN APPROVAL

APPROVED: *[Signature]* Date: 4/10/07
 City Engineer

CHECKED BY: *[Signature]* Date: 4/10/07
 Water & Wastewater Utility

CHECKED BY: *[Signature]* Date: 4-9-07
 Stormwater Utility

CHECKED BY: *[Signature]* Date:
 Parks & Recreation

CHECKED BY: *[Signature]* Date:
 Traffic Engineer

CHECKED BY: *[Signature]* Date:
 Registered By:
 Date:
 500

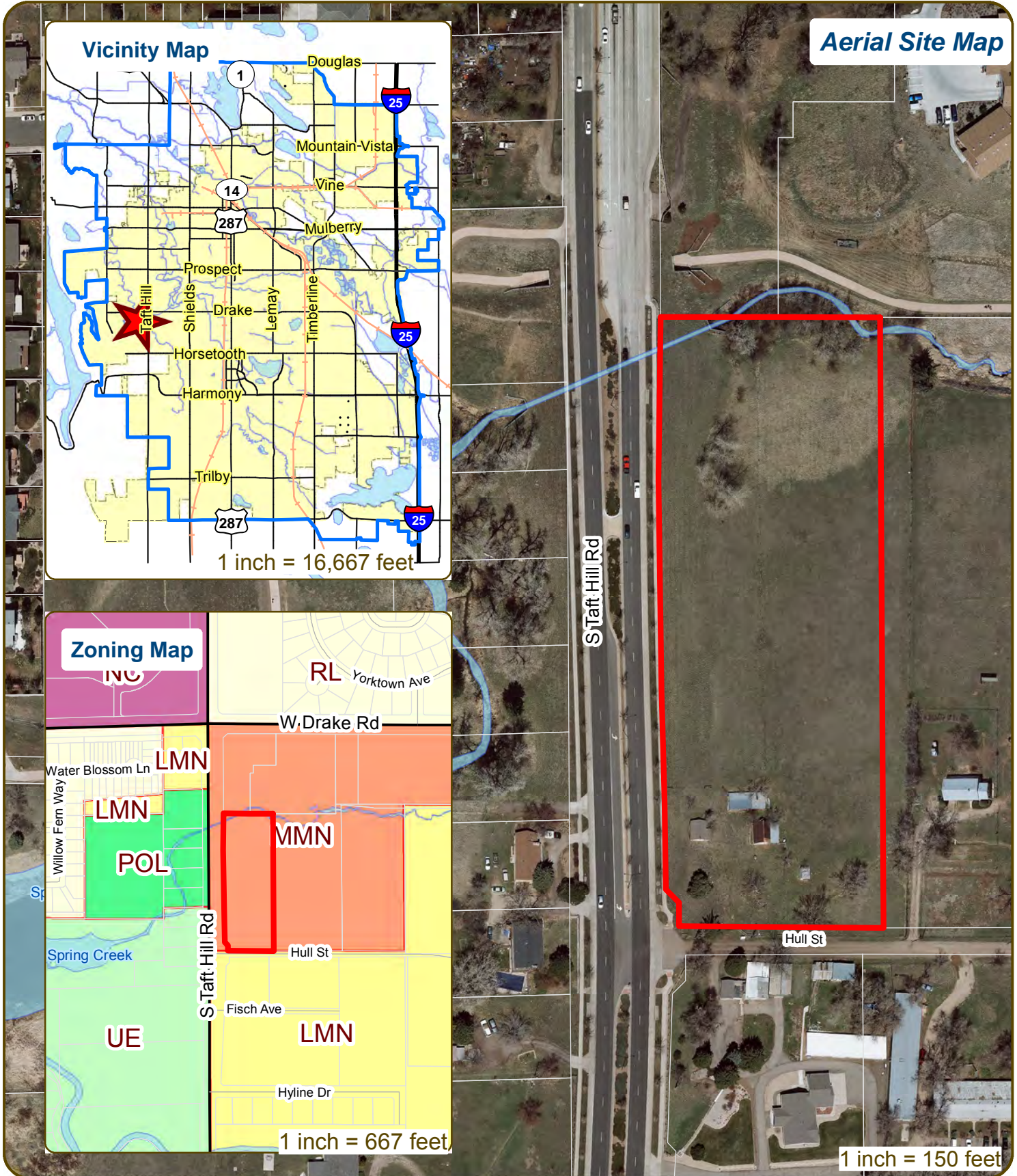
132 WILLOX LANE
UTILITY PLAN

DMW
 CIVIL ENGINEERS
 1438 West 29th Street, Loveland, Colorado, 80538
 (970) 461-1888
 www.dmw-engineers.com

Revisions:

No.	Description	Date
1	ADD 6" FIRE LINE	07/27/07

2800 S Taft Hill Rd Multi-Family Residential



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CONCEPTUAL REVIEW:

APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority.

Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal. The more info provided, the more detailed your comments from staff will be.

Contact Name(s) and Role(s) (Please identify whether Consultant, Owner, etc.)		
Business Name (if applicable)		
Mailing Address		
Phone	Email Address	
Site Address (parcel # if address in not available)		
Description of Proposal (attach additional sheets if necessary)		
Proposed Use	Existing Use	
Total Building Square Footage	Number of Stories	Lot Dimensions

Age of any Existing Structures _____

Info available on Larimer County's Website: <http://www.co.larimer.co.us/assessor/query/search.cfm>

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? Yes No If yes, then at what risk is it? _____

Info available on FC Maps: <http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains>.

Increase in Impervious Area _____ S.F.

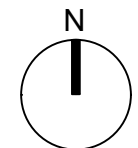
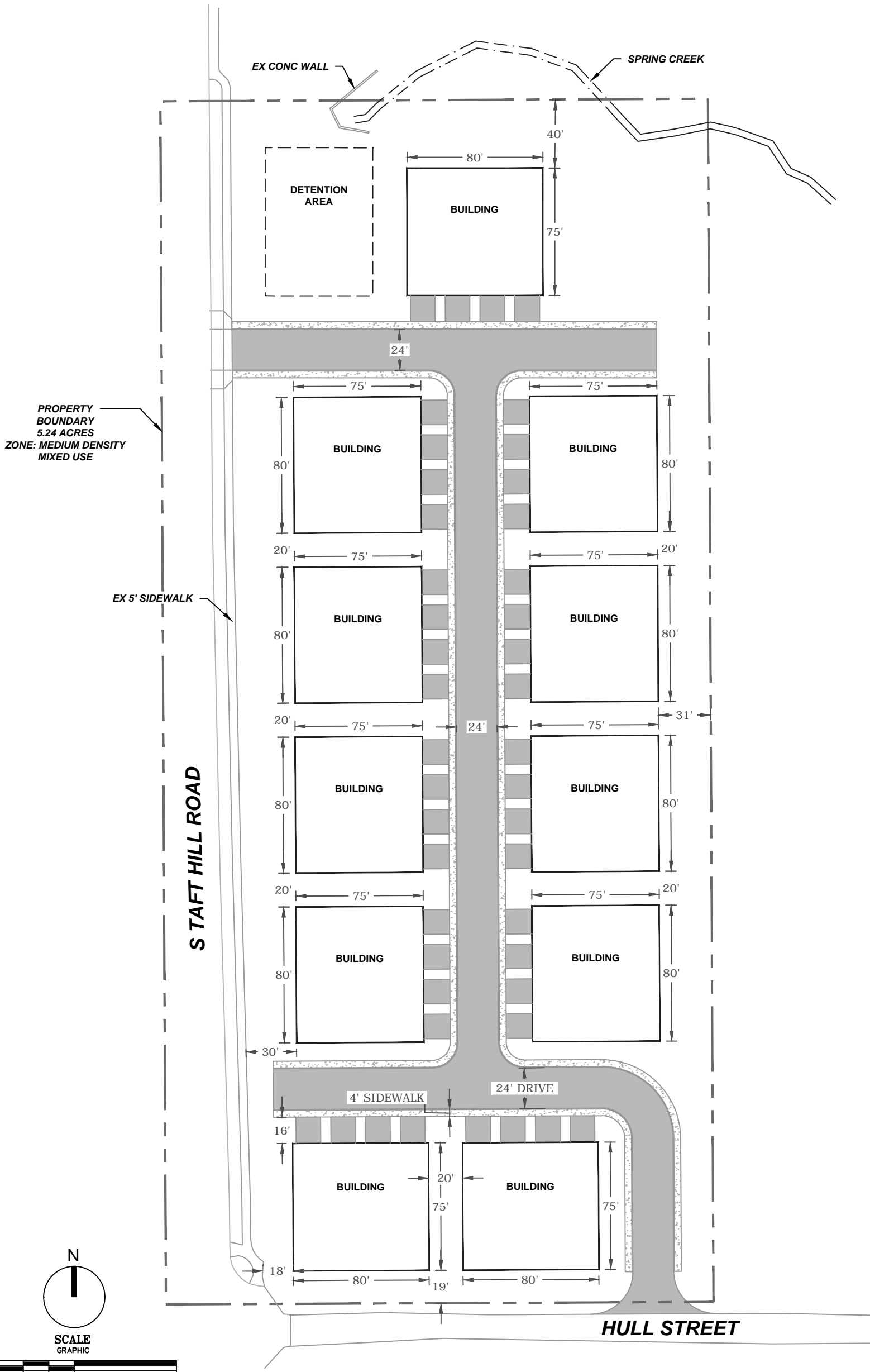
(Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan: Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

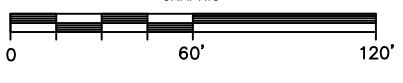
TAFT HILL DEVELOPMENT

2800 S. Taft Hill Rd., Fort Collins, Colorado

Located in the West 1/2 of the Northwest 1/4 Section 27, Township 7 North, Range 69 West of the 6th Principal Meridian, Larimer County, Colorado



SCALE GRAPHIC



SHEET NUMBER	DATE	SCALE
	05/08/2017	1" = 40'
DRAWN BY	DATE	SCALE
	05/08/2017	1" = 40'
PROJECT	TAFT HILL DEVELOPMENT	
CLIENT	FORT COLLINS, CO	
CHECKED BY	SEC	
DATE	05/08/2017	

NO.	DATE	DESCRIPTION

--

PROJECT	TAFT HILL DEVELOPMENT FORT COLLINS, CO
SHEET TITLE	CONCEPTUAL SITE PLAN

SEC SORENSEN ENGINEERING & CONSTRUCTION, LLC
CIVIL / ENVIRONMENTAL ENGINEERING

1901 BEAR COURT
FORT COLLINS, CO 80525
PHONE: 970 590-1579
PaulS51@comcast.net

--

TAFT PROPERTY: CONCEPT RENDERING

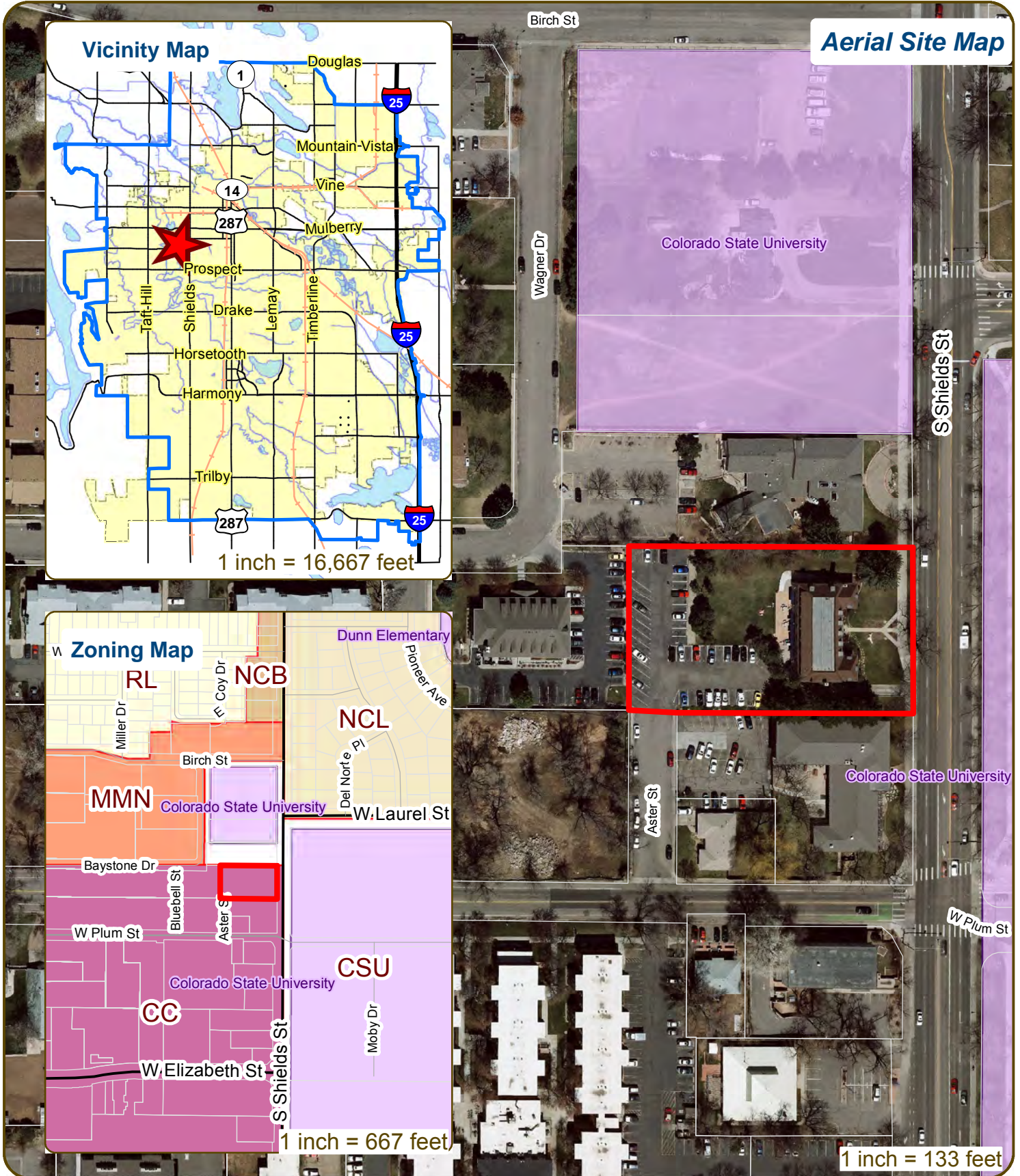
1)



2)



729 S. Shields St. Kappa Kappa Gamma



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CONCEPTUAL REVIEW: APPLICATION

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BOLDED ITEMS ARE REQUIRED *The more info provided, the more detailed your comments from staff will be.*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Greg Orr - Owner Rep.

Kyle Ray - Architect, Denise Waddell & Pam Wolf- Kappa Kappa Gamma, Noah Emmers - Civil

Business Name (if applicable) Kapp Kappa Gamma

Your Mailing Address 729 S. Shields Fort Collins, CO 80521

Phone Number See contact sheet Email Address See contact sheet

Site Address or Description (parcel # if no address) 729 S. Shields Fort Collins, CO 80521

Description of Proposal (attach additional sheets if necessary) Addition and Renovation to Kappa Kappa Gamma House.

Proposed Use Sorority House Existing Use Sorority House

Total Building Square Footage 23,430 S.F. Number of Stories 3 Lot Dimensions 93' x 273'

Age of any Existing Structures Original built in 1956

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [] Yes [x] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 3,650 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

OWNER:

Kappa Kappa Gamma House at Colorado State University
Pam Wolf
House Board President
303 810-1883
pamwolf7@gmail.com

ARCHITECT:

Hug & Associates, Architects
Kyle G. Ray, Senior Project Manager / Designer
5250 Avalon Boulevard Alpharetta,
Georgia 30009
678.297.2929
Kray@hugarchitects.com

CIVIL ENGINEER:

Michael White, PE
Project Manager
Baseline Engineering Corporation
303.940.9966
mike@baselinecorp.com

LANDSCAPE ARCHITECT:

TBD

STRUCTURAL ENGINEER:

Chris Kendall, PE
Principal
KL&A Structural Engineers
970.776.4820
Ckendall@klaa.com

MECHANICAL/ELECTRICAL/PLUMBING ENGINEERS:

Trevor M. Kindell
Associate Principal
Given and Associates
720.638.6590
trevork@givenandassociates.com

SPECIFICATIONS CONSULTANT:

N.A.


KITCHEN CONSULTANT:

Conrad Beattie
In-Sync Design Services
(770) 337-5944
cb.insync@gmail.com

OWNER REPRESENTATIVE

Reliance Construction Consulting
Greg Orr
201 Commerce Dr. Suite 1
Fort Collins, CO 80524
greg@relianceconstructionconsulting.com
970-567-6841



Imagery ©2017 Google, Map data ©2017 Google 200 ft 

Existing Property

PROJECT DESCRIPTION		PROJECT DIRECTORY	
<p>THE PURPOSE OF THESE DRAWINGS IS TO CONVEY DESIGN CONCEPT AND SCOPE OF WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.</p>		<p>PROJECT DIRECTORY</p> <p>PROJECT NAME: KAPPA KAPPA GAMMA SORORITY</p> <p>PROJECT NUMBER: 1799</p> <p>PROJECT ADDRESS: 729 SOUTH SHIELDS STREET, FORT COLLINS, CO 80521</p> <p>PROJECT OWNER: COLORADO STATE UNIVERSITY</p> <p>PROJECT ARCHITECT: MICHAEL S. HUG ARCHITECT</p>	
PROJECT DATA		GENERAL CONTRACTOR	
<p>PROJECT CLASSIFICATION: CC - COMMUNITY COMMERCIAL OFFICE RESIDENTIAL</p> <p>PROJECT TYPE: TYPE III - CONSTRUCTION</p> <p>ESTIMATED COST: \$1,000,000</p> <p>ESTIMATED START DATE: 01/2017</p> <p>ESTIMATED END DATE: 03/2017</p>		<p>GENERAL CONTRACTOR</p> <p>PROJECT NUMBER: 1799</p> <p>PROJECT ADDRESS: 729 SOUTH SHIELDS STREET, FORT COLLINS, CO 80521</p> <p>PROJECT OWNER: COLORADO STATE UNIVERSITY</p> <p>PROJECT ARCHITECT: MICHAEL S. HUG ARCHITECT</p>	
GENERAL			
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DRAWING INDEX - CIVIL		DRAWING INDEX - ARCHITECTURAL	
Sheet #	Title	Contract Issue	Original Issue
01	GENERAL NOTES	01/2017	01/2017
02	FOUNDATION	01/2017	01/2017
03	FOUNDATION	01/2017	01/2017
04	FOUNDATION	01/2017	01/2017
05	FOUNDATION	01/2017	01/2017
06	FOUNDATION	01/2017	01/2017
07	FOUNDATION	01/2017	01/2017
08	FOUNDATION	01/2017	01/2017
09	FOUNDATION	01/2017	01/2017
10	FOUNDATION	01/2017	01/2017
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13	FOUNDATION	01/2017	01/2017
14	FOUNDATION	01/2017	01/2017
15	FOUNDATION	01/2017	01/2017
16	FOUNDATION	01/2017	01/2017
17	FOUNDATION	01/2017	01/2017
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19	FOUNDATION	01/2017	01/2017
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25	FOUNDATION	01/2017	01/2017
26	FOUNDATION	01/2017	01/2017
27	FOUNDATION	01/2017	01/2017
28	FOUNDATION	01/2017	01/2017
29	FOUNDATION	01/2017	01/2017
30	FOUNDATION	01/2017	01/2017

BED COUNT TABULATIONS			
LEVEL	SINGLE	DOUBLE	TRIPLE
FIRST LEVEL	1	-	-
SECOND LEVEL	1	13	1
THIRD LEVEL	-	11	-
TOTAL ROOMS	2	24	1
BEDROOMS	2	4	3
TOTAL BEDS	3	3	

DRAWING INDEX - MECHANICAL		DRAWING INDEX - ELECTRICAL	
Sheet #	Title	Contract Issue	Original Issue
01	ELECTRICAL	01/2017	01/2017
02	ELECTRICAL	01/2017	01/2017
03	ELECTRICAL	01/2017	01/2017
04	ELECTRICAL	01/2017	01/2017
05	ELECTRICAL	01/2017	01/2017
06	ELECTRICAL	01/2017	01/2017
07	ELECTRICAL	01/2017	01/2017
08	ELECTRICAL	01/2017	01/2017
09	ELECTRICAL	01/2017	01/2017
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14	ELECTRICAL	01/2017	01/2017
15	ELECTRICAL	01/2017	01/2017
16	ELECTRICAL	01/2017	01/2017
17	ELECTRICAL	01/2017	01/2017
18	ELECTRICAL	01/2017	01/2017
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25	ELECTRICAL	01/2017	01/2017
26	ELECTRICAL	01/2017	01/2017
27	ELECTRICAL	01/2017	01/2017
28	ELECTRICAL	01/2017	01/2017
29	ELECTRICAL	01/2017	01/2017
30	ELECTRICAL	01/2017	01/2017

DRAWING INDEX - PLUMBING		DRAWING INDEX - KITCHEN	
Sheet #	Title	Contract Issue	Original Issue
01	PLUMBING	01/2017	01/2017
02	PLUMBING	01/2017	01/2017
03	PLUMBING	01/2017	01/2017
04	PLUMBING	01/2017	01/2017
05	PLUMBING	01/2017	01/2017
06	PLUMBING	01/2017	01/2017
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25	PLUMBING	01/2017	01/2017
26	PLUMBING	01/2017	01/2017
27	PLUMBING	01/2017	01/2017
28	PLUMBING	01/2017	01/2017
29	PLUMBING	01/2017	01/2017
30	PLUMBING	01/2017	01/2017

RENOVATIONS AND ADDITIONS

for

KAPPA KAPPA GAMMA SORORITY

at

COLORADO STATE UNIVERSITY
729 SOUTH SHIELDS STREET
FORT COLLINS, COLORADO 80521

PROJECT IMAGE



RENOVATIONS AND ADDITIONS

for

KAPPA KAPPA GAMMA SORORITY

COLORADO STATE UNIVERSITY
729 SOUTH SHIELDS STREET
FORT COLLINS, COLORADO 80521

LOCATION MAP



RENOVATIONS AND ADDITIONS

for

KAPPA KAPPA GAMMA SORORITY

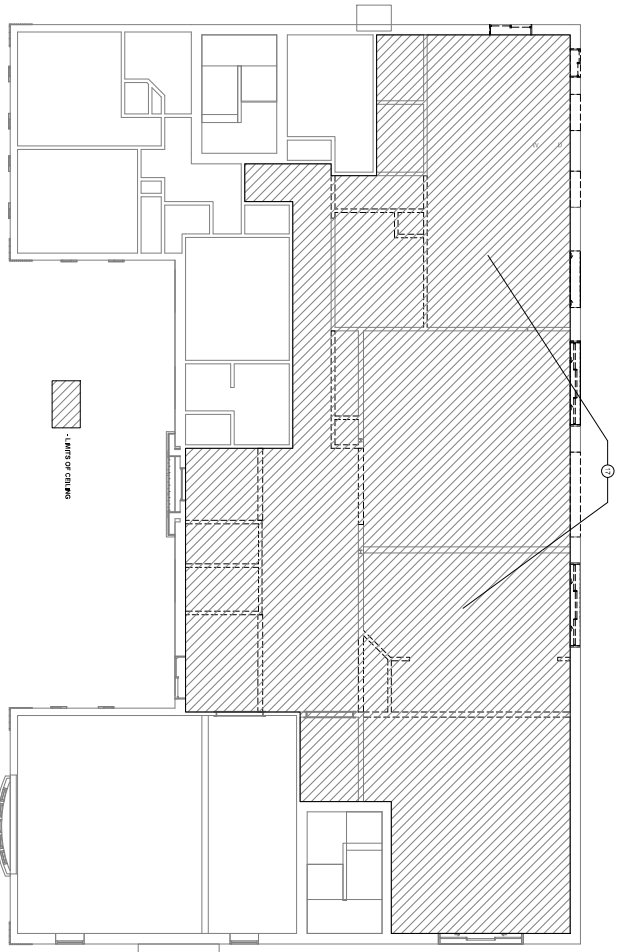
COLORADO STATE UNIVERSITY
729 SOUTH SHIELDS STREET
FORT COLLINS, COLORADO 80521

RENOVATIONS AND ADDITIONS

for

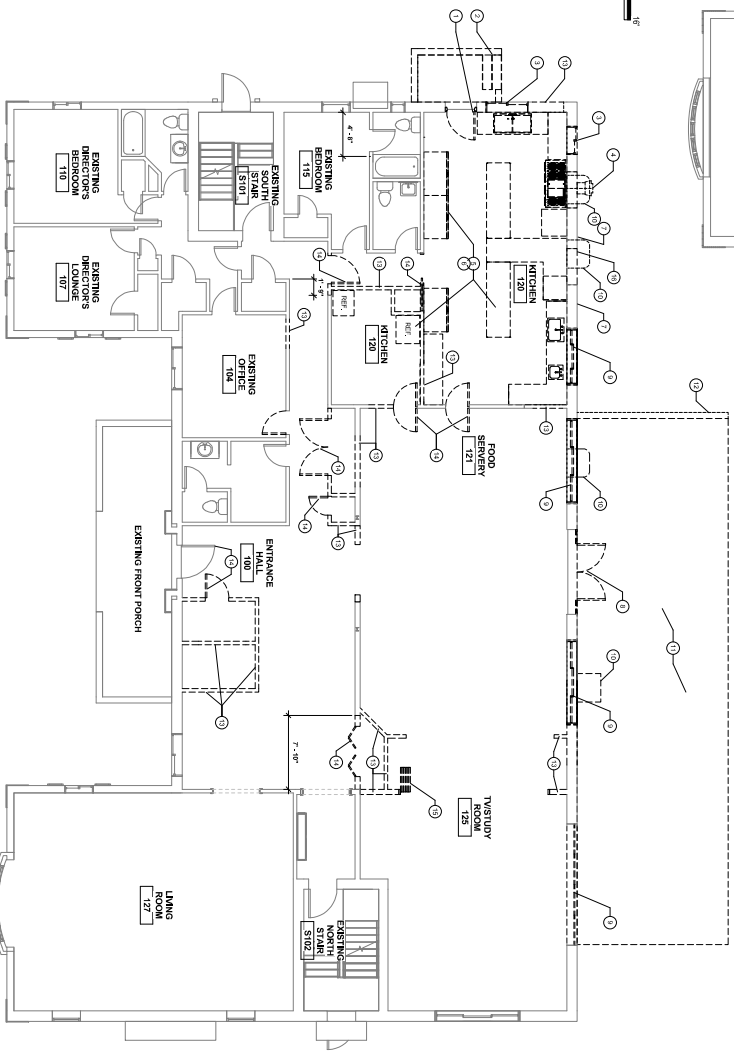
KAPPA KAPPA GAMMA SORORITY

COLORADO STATE UNIVERSITY
729 SOUTH SHIELDS STREET
FORT COLLINS, COLORADO 80521



2 DEMOLITION REFLECTED CEILING PLAN - MAIN LEVEL
 SCALE: 3/8" = 1'-0"

- DEMOLITION NOTES:**
- 1 REMOVE EXISTING EXTERIOR STAIR FRAME - PREPARE FOR WOOD STAIR AND RECONSTRUCTION AT WALL.
 - 2 REMOVE EXISTING EXTERIOR CONCRETE STEPS, LANDING, AND WALKWAY.
 - 3 REMOVE EXISTING WINDOW - PREPARE FOR METAL STJO.
 - 4 REMOVE EXISTING WINDOW SHIMMER FRAME.
 - 5 REMOVE ALL CABINETS, STOVE, SINK, AND DISHWASHER.
 - 6 REMOVE EXISTING FLOOR FINISH AND CEILING.
 - 7 REMOVE EXISTING PARTITION WALLS AND RECONSTRUCT THIS AREA TO MATCH CONSTRUCTION AT THE REAR OF THE BUILDING.
 - 8 REMOVE EXISTING PAIR OF DOORS, SILL, LINTEL & STONE SILL.
 - 9 REMOVE EXISTING WINDOW.
 - 10 REMOVE EXISTING SASH/IN WINDOW ALL LOW.
 - 11 REMOVE EXISTING PARTITION WALL.
 - 12 REMOVE EXISTING WALL.
 - 13 REMOVE EXISTING DOOR.
 - 14 REMOVE EXISTING FOLDING PARTITION DOOR.
 - 15 REMOVE EXISTING LOWER - SEE ARCH. NOTES FOR NEW RE-ROUTED LOCATION.
 - 16 REMOVE EXISTING LOWER PARTITION WALL IN REAR/NEARBY WALKWAY AREA.



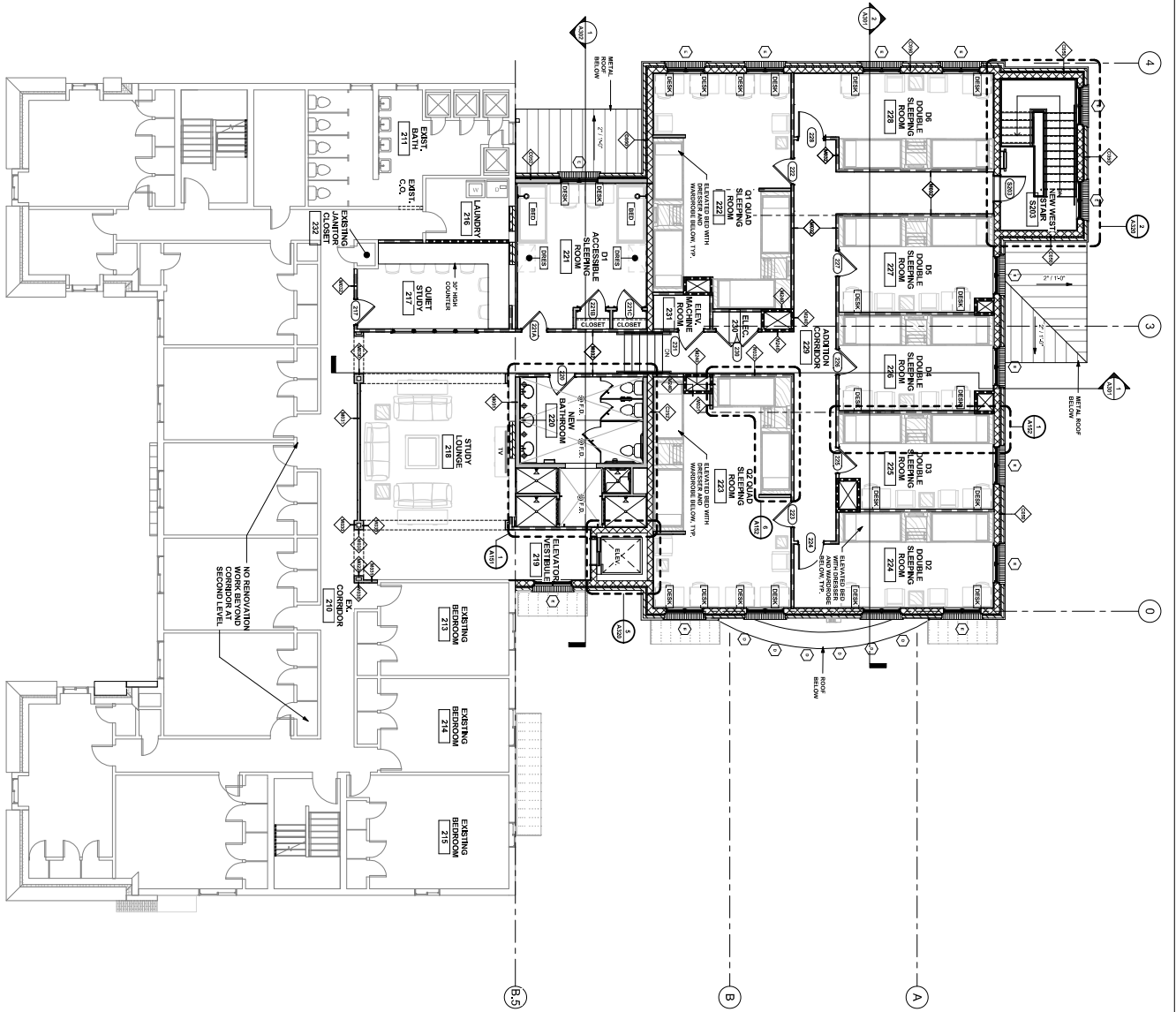
1 DEMOLITION PLAN - MAIN LEVEL
 SCALE: 3/8" = 1'-0"

DEMOLITION NOTES:

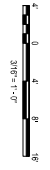
1. REFER TO ARCHITECTURAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS FOR DEMOLITION AND DISPOSAL PROCEDURES.
2. VERIFY CABING CONDITIONS BEFORE ELABORATION OR PRIOR TO PROCEEDING WITH DEMOLITION AND DISPOSAL. THE ARCHITECT AND OWNER Warrant LIABILITY FOR THE ACCURACY OF THE INFORMATION AND ASSUMPTIONS PROVIDED HEREIN.
3. REMOVE ALL DEMOLITION AND ASSESSMENTS BEFORE PROCEEDING WITH THE DEMOLITION AND DISPOSAL. THE ARCHITECT AND OWNER Warrant LIABILITY FOR THE ACCURACY OF THE INFORMATION AND ASSUMPTIONS PROVIDED HEREIN.
4. ALL EXISTING AND CONSTRUCTION SHALL BE REMOVED IN AN ACCEPTABLE MANNER AND ASSET THE REMOVED MATERIALS TO BE RECYCLED OR REUSED. THE ARCHITECT AND OWNER Warrant LIABILITY FOR THE ACCURACY OF THE INFORMATION AND ASSUMPTIONS PROVIDED HEREIN.
5. ALL EXISTING AND CONSTRUCTION SHALL BE REMOVED IN AN ACCEPTABLE MANNER AND ASSET THE REMOVED MATERIALS TO BE RECYCLED OR REUSED. THE ARCHITECT AND OWNER Warrant LIABILITY FOR THE ACCURACY OF THE INFORMATION AND ASSUMPTIONS PROVIDED HEREIN.
6. REMOVE ALL EXISTING AND CONSTRUCTION IN THE REAR AND FRONT OF THE BUILDING AND RECONSTRUCT THIS AREA TO MATCH CONSTRUCTION AT THE REAR OF THE BUILDING.
7. REMOVE EXISTING PARTITION WALLS AND RECONSTRUCT THIS AREA TO MATCH CONSTRUCTION AT THE REAR OF THE BUILDING.
8. REMOVE EXISTING WINDOW.
9. REMOVE EXISTING SASH/IN WINDOW ALL LOW.
10. REMOVE EXISTING PARTITION WALL.
11. REMOVE EXISTING WALL.
12. REMOVE EXISTING DOOR.
13. REMOVE EXISTING FOLDING PARTITION DOOR.
14. REMOVE EXISTING LOWER - SEE ARCH. NOTES FOR NEW RE-ROUTED LOCATION.
15. REMOVE EXISTING LOWER PARTITION WALL IN REAR/NEARBY WALKWAY AREA.

 <p>MICHAEL S. HUG ARCHITECT</p>	<p>RENOVATIONS AND ADDITIONS for KAPPA KAPPA GAMMA SORORITY COLORADO STATE UNIVERSITY 729 SOUTH SHIELDS STREET FORT COLLINS, COLORADO 80521</p>	<p>INSITUP WITH: LISA DESIGN: JESSICA ARCHITECT: JESSICA CONTRACTOR: JESSICA ORIGINAL SHEET ISSUE</p>	<p>DATE: 5/12/2017 TIME: 5:00 PM DRAWING NO: A051</p>
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NOT RELEASED FOR CONSTRUCTION



1 FLOOR PLAN - SECOND LEVEL
SCALE: 3/8" = 1'-0"



FLOOR PLAN NOTES:

1. REFER TO ALL OTHER SHEETS FOR NOTES AND DIMENSIONS.
2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
4. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
5. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
6. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
7. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
8. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
9. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.
10. SEE ALL NOTES AND DIMENSIONS FOR ALL OTHER SHEETS.

NOT RELEASED FOR CONSTRUCTION

ARCHITECT: MICHAEL S. HUG ARCHITECT

PROJECT NO: A102

DATE: 5/12/2017

SCALE: 3/8" = 1'-0"

MICHAEL S. HUG
ARCHITECT

RENOVATIONS AND ADDITIONS
for
KAPPA KAPPA GAMMA SORORITY
COLORADO STATE UNIVERSITY
729 SOUTH SHIELDS STREET
FORT COLLINS, COLORADO 80521

DATE	DESCRIPTION
5/12/2017	ISSUED FOR PERMITTING
5/12/2017	ISSUED FOR CONSTRUCTION
5/12/2017	ISSUED FOR RECORDING
5/12/2017	ISSUED FOR ARCHIVE
5/12/2017	ISSUED FOR REVIEW
5/12/2017	ISSUED FOR COMMENT
5/12/2017	ISSUED FOR APPROVAL
5/12/2017	ISSUED FOR SIGNATURE
5/12/2017	ISSUED FOR FINAL REVIEW
5/12/2017	ISSUED FOR CLOSURE













