

# Conceptual Review Agenda

Schedule for 05/02/16 to 05/02/16

281 Conference Room A

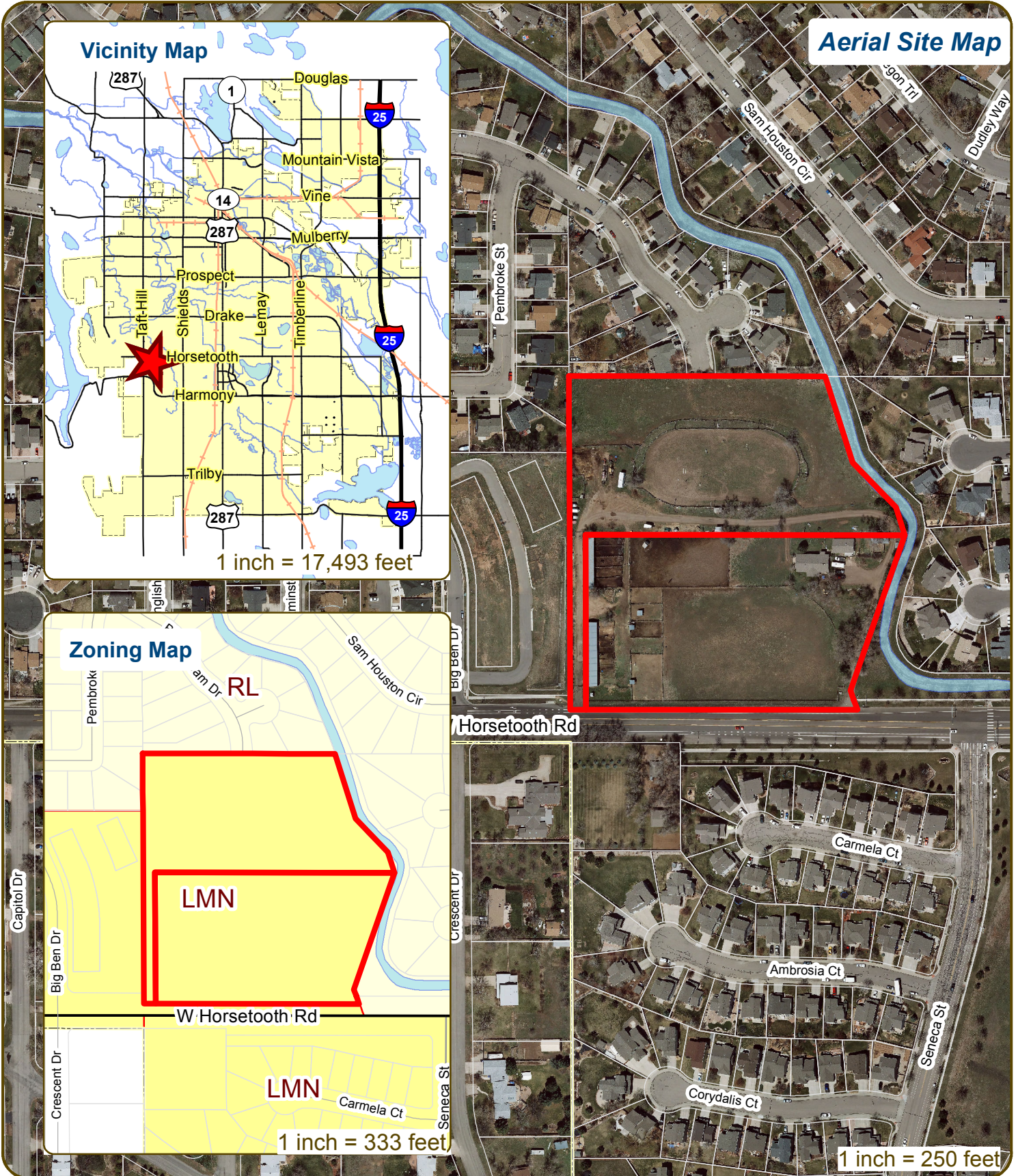
---

## Monday, May 2, 2016

Time	Project Name	Applicant Info	Project Description	Planner
9:30	1506 W Horsetooth Rd - Multi-family CDR160035	Kristin Fritz (970) 416-2938 <a href="mailto:kfritz@fcgov.com">kfritz@fcgov.com</a>	This is a request to build 96 multi-family units at 1506 W Horsetooth Rd (parcel #'s 9727400912 and 9727400913). All of the units will be affordable to families earning 30-60% of Area Median Income. The development will contain 175 parking stalls and a clubhouse. The parcels are located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.	Clay Frickey
10:15	2629 W Harmony Rd - Annexation and Initial Zoning CDR150038	Tim Halopoff (970) 491-9888 <a href="mailto:thalopoff@jrengineering.com">thalopoff@jrengineering.com</a>	This is a request to annex a property and create a cluster subdivision at 2629 W Harmony Rd (parcel #9733300041). The existing single-family home and guest house will remain. The subdivision would contain 8 new lots with a private drive, shared parking spaces, and a trail connection to the Fossil Creek Trail. The site will be zoned Urban Estate (UE). This proposal will be subject to Annexation and Initial Zoning.	Noah Beals
11:00	132 Laporte Ave - Music Venue CDR150037	Cathy Mathis (970) 532-5891 <a href="mailto:cathy@tbgroup.us">cathy@tbgroup.us</a>	This is a request the change the use of the existing bar and restaurant at 132 Laporte Ave to a music venue (parcel #9711125043). The proposed site plan shows an addition on the front of the building along Laporte Ave. The building will be 18-20,000 sq. ft. upon completion. The site is located in the Downtown (D) zone district. This proposal will be subject to Administrative (Type I) review.	Seth Lorson



# 1506 W Horsetooth Rd Multi-family



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.







CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Kristin Fritz

Owner

Business Name (if applicable) Fort Collins Housing Authority

Your Mailing Address 1715 W Mountain Ave Fort Collins, CO 80526

Phone Number 970 416 2938 Email Address kfritz@fcgov.com

Site Address or Description (parcel # if no address)

1506 W Horsetooth

Description of Proposal (attach additional sheets if necessary)

New construction multi-family development with 96 units 100% affordable housing. See attached.

Proposed Use Multi-family housing Existing Use Residential/horse property

Total Building Square Footage 89,410 S.F. Number of Stories 2 Lot Dimensions 625' x 581'

Age of any Existing Structures ~ 8 acres

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain? [ ] Yes [X] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area ~ 65,000 sf S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?

## Village on Horsetooth – Conceptual Review (05/02/16)



### Program Overview

The proposed Village on Horsetooth will include 96 new units of affordable housing separated into 9 individual buildings surrounding a large community green with community gardens, playground and walking paths. The mix of unit types includes apartment homes with one, two, three and four bedrooms. The residential buildings will be broken into (6) 8-plex buildings and (3) 16-plex buildings. There will be 175 vehicle parking spaces and convenient bike parking will be available at each building. The design of the community will be focused on health, sustainability, and neighborhood compatibility. It will assist the local workforce, as well as truly low-income residents, in meeting the housing needs of their families.

The community clubhouse will include a leasing office, programming space (for Resident Services and Kids' Club), community room, fitness room and kitchen. The gross density will be 12 units/acre in compliance with the Low-density Mixed Neighborhood (LMN) zone district. The traditional design includes 2-story buildings with gabled roofs, covered balconies, and pronounced entryways to ensure compatibility with the surrounding neighborhood. The character of the single-family neighborhoods to the east and north includes traditional two-story homes constructed in the 1980s and 90s. All of the residential buildings proposed will be two-story to blend into the surrounding context. The eclectic design of the newer townhomes to the west will help provide transition from the LMN zoning down to the surrounding Residential Low-density (RL) District.



### **Total Square Footage**

- Residential = 85,810 sf
  - Common Area = 3,600 sf
- TOTAL = 89,410 sf

### **Bedroom and Unit Mix**

- (6) one-bedroom/1 bath
  - (66) two-bedroom/1 bath
  - (22) three-bedroom/2 bath
  - (2) four-bedroom/2 bath
- TOTAL = 96 units

### **Parking Spaces**

- Vehicle = 112 surface parking
- Bicycle = 212 (127 covered)

### **Area Median Income Target**

- 43 units at 0-30% AMI
- 53 units at 51-60% AMI

### **Construction Type**

- The Village on Horsetooth includes 10 buildings consisting of (6) 2-story 8-unit flats, (3) 2-story 12-unit flats, and (1) clubhouse with a leasing office, open area, fitness room, and kitchen. All residential buildings will be type VB wood-frame construction with R-2 occupancy and NFPA 13R sprinkler system. The clubhouse will be a 1-story Type VB wood-frame construction with A-2 and B occupancy and no sprinkler system.
- Each residence will be heated and cooled with an aquatherm fan coil unit to move air through supply and return duct work to each room. A sealed combustion gas-fired water heater will be provided for each unit, and units will have individual electric meters.

### **Sustainability Features**

- The Project is expected will utilize various green building techniques, including compact development, smart framing, high R-values, water conserving features, energy efficient appliances and lighting, and compliance with Energy Star New Homes.



**Village at Horsetooth**  
Fort Collins, Colorado  
OZ Architecture  
January 29, 2016



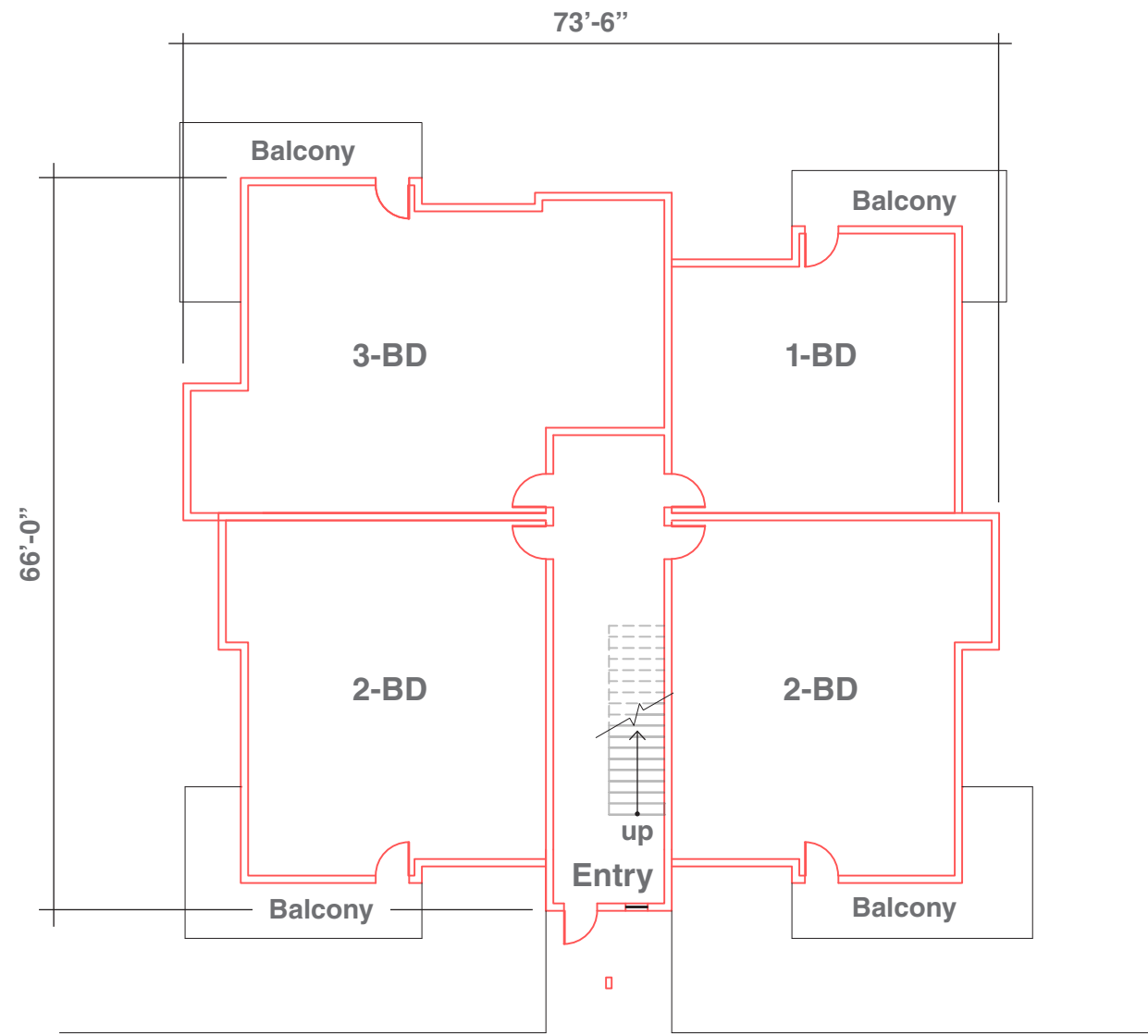


- Total Building Count**  
 (2) A1 Buildings - 8 units/bldg  
 (1) A2 Building - 8 units/bldg  
 (3) A3 Buildings - 8 units/bldg  
 (3) A3 Buildings - 16 units/bldg
- (9) Total Apartment Buildings  
 (96) Total Units  
 (175) Parking Stalls  
 (1) C1 - Clubhouse

Total Bed Count	sf/BD
(6) 1-BD	605 sf
(66) 2-BD	860 sf
(22) 3- BD	1040 sf
(2) 4-BD	1270 sf

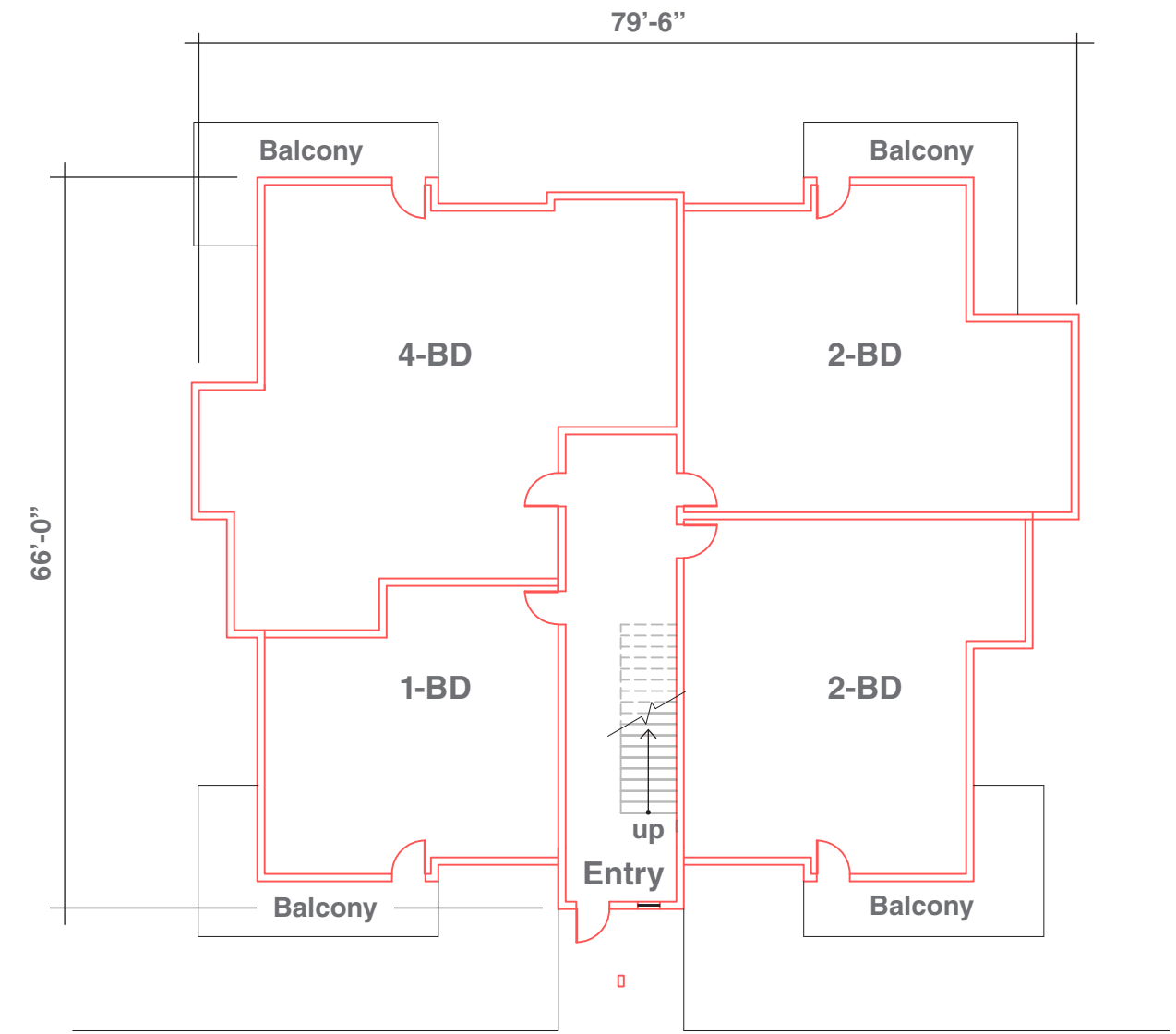






**A1 - Building Footprint**

Building Program	Bed Count per Building
(2) 2-Story Building	(2) 1-BD
(4) Units per Floor	(4) 2-BD
(8) Total Units	(2) 3-BD
(16) Total A1 Units	Total Bed Count
	(4) 1-BD
	(8) 2-BD
	(4) 3-BD

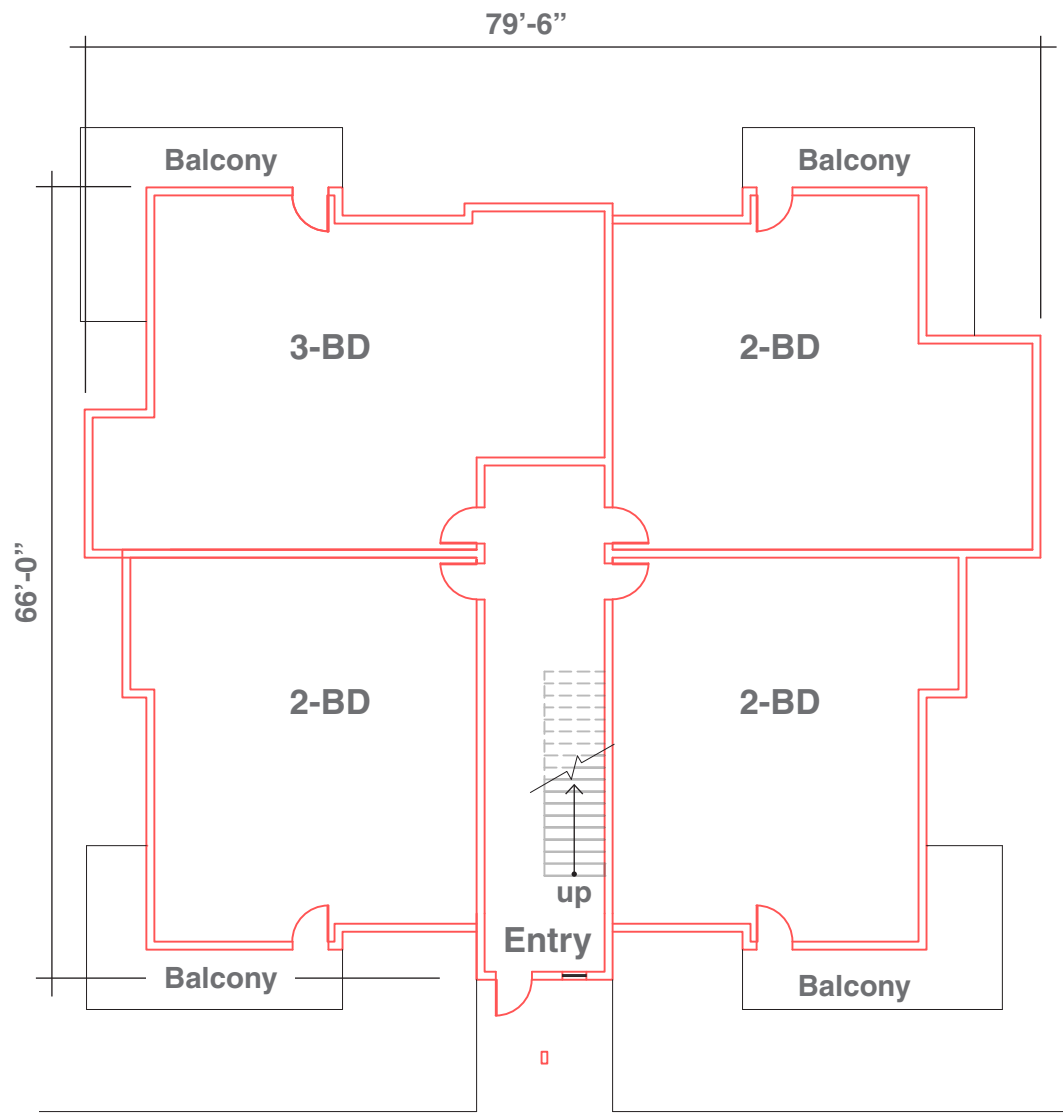


**A2 - Building Footprint**

Building Program	Bed Count per Building
(1) 2-Story Building	(2) 1-BD
(4) Units per Floor	(4) 2-BD
(8) Total Units	(2) 4-BD
(8) Total A2 Units	Total Bed Count
	(2) 1-BD
	(4) 2-BD
	(2) 4-BD







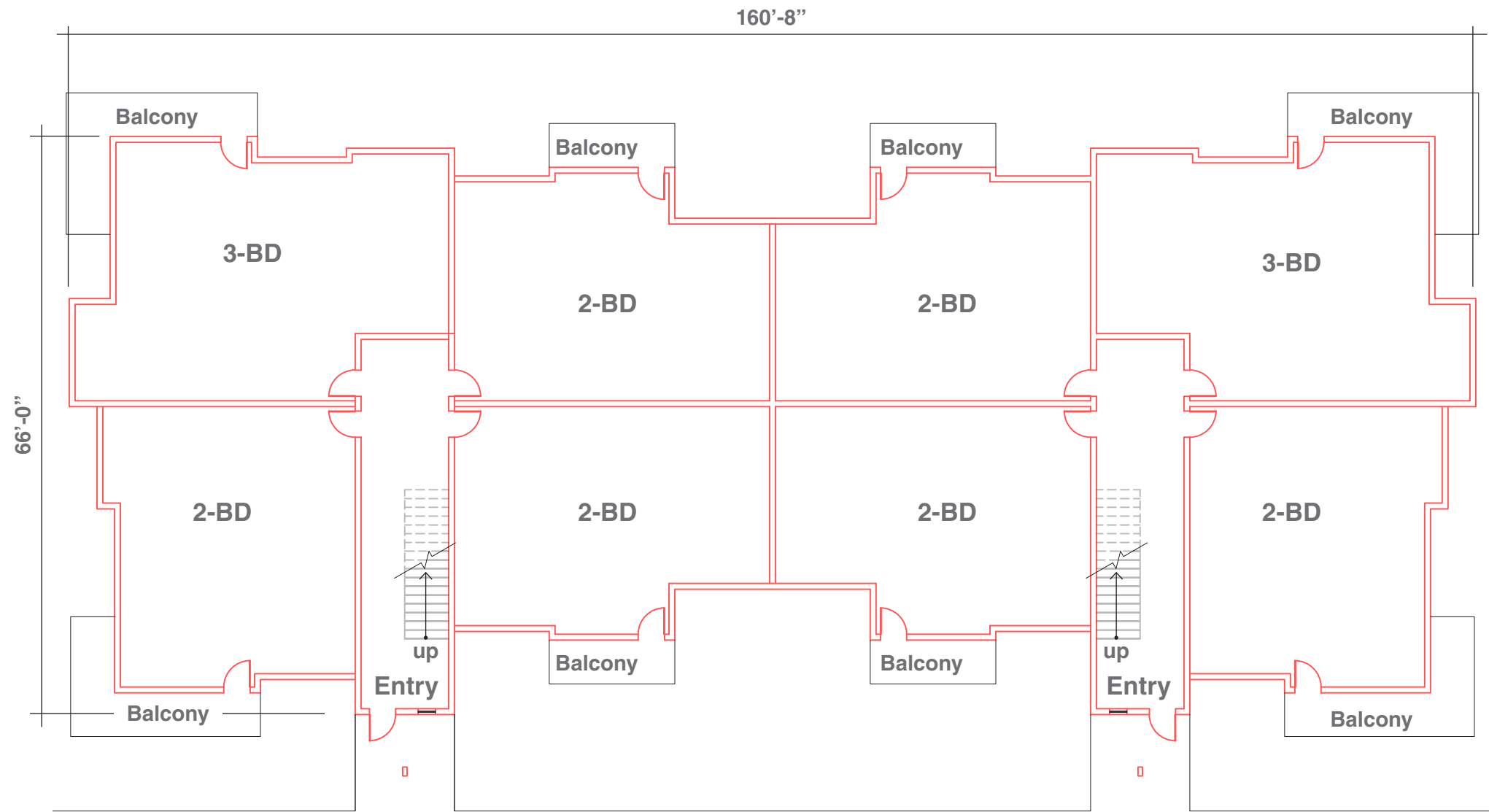
**A3 - Building Footprint**

**Building Program**  
 (3) 2-Story Building  
 (8) Units per Floor  
 (16) Units per Bldg

**Bed Count per Building**  
 (6) 2-BD  
 (2) 3-BD

(24) Total A3 Units

**Total Bed Count**  
 (18) 2-BD  
 (6) 3-BD



**A4 - Building Footprint**

**Building Program**  
 (3) 2-Story Building  
 (8) Units per Floor  
 (16) Total Units

**Bed Count per Building**  
 (12) 2-BD  
 (4) 3-BD

(48) Total A4 Units

**Total Bed Count**  
 (36) 2-BD  
 (12) 3-BD







South Elevation



East Elevation



# A1





South Elevation



East Elevation



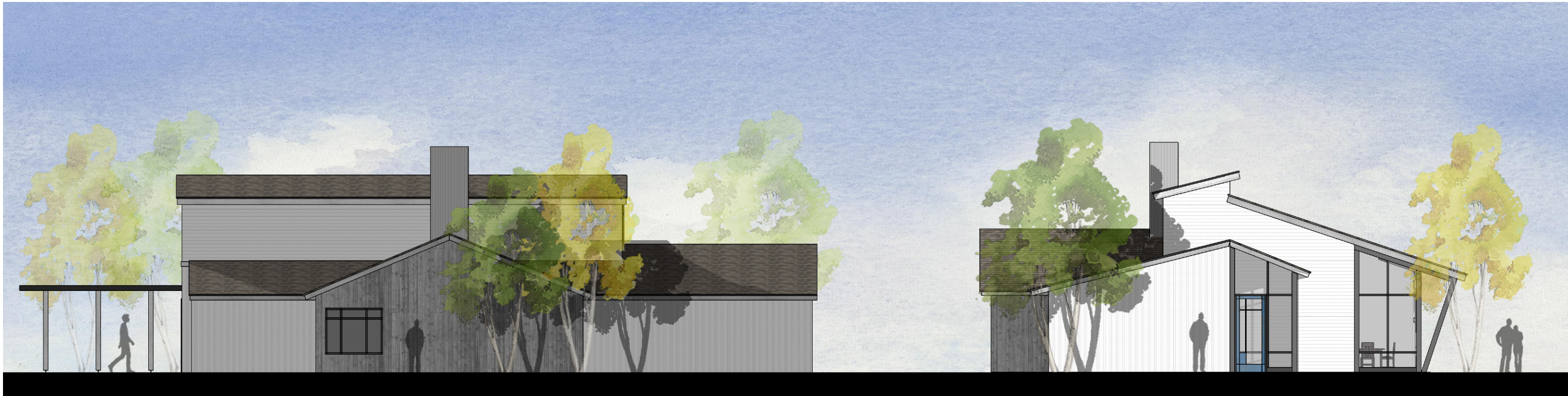
A4





North West Elevation

South West Elevation



South East Elevation

North East Elevation







May 09, 2016

Kristin Fritz  
Fort Collins Housing Authority  
1715 W Mountain Ave  
Fort Collins, CO 80526

**Re:** 1506 W Horsetooth Rd - Multi-family

**Description of project:** This is a request to build 96 multi-family units at 1506 W Horsetooth Rd (parcel #'s 9727400912 and 9727400913). All of the units will be affordable to families earning 30-60% of Area Median Income. The development will contain 175 parking stalls and a clubhouse. The parcels are located in the Low Density Mixed-Use Neighborhood (LMN) zone district. This proposal will be subject to Planning & Zoning Board (Type II) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Clay Frickey, at 970-224-6045 or [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact: Marcus Glasgow, 970-416-2338, [mglasgow@fcgov.com](mailto:mglasgow@fcgov.com)**

1. LUC 3.2.2(K)(5) Handicap parking spaces are required in numbers per this section.
2. LUC 3.2.4 (C) Lighting plan is required, this should include a photometric site plan with catalog cut-sheets of the fixtures.
3. LUC 3.2.5 All development shall provide adequately sized conveniently located, accessible trash and recycling enclosures. How will you handle trash?
4. LUC 3.5.1 (I) (6) All rooftop mechanical equipment shall be screened from public view from both above and below by integrating it into building and roof design to the maximum extent feasible
5. LUC 3.2.1 A landscape plan is required.
6. The setbacks for LMN are:

Front 15'  
Rear 8'  
Side 5'  
Corner Side 15'

7. LUC 3.2.2(L) Table A and B  
Parking Stall Dimensions should be 19'x9'  
Drive Aisle should be 24' for two way traffic and 20' for one way traffic
8. LUC 3.2.1 (D) (2) Planting of street trees shall occur in the adjoining street right-of-way in connection with the development by one (1) or more of the methods described in subparagraphs (a) through (c)
9. Detach the sidewalks along the drive aisle.

**Department: Water-Wastewater Engineering**

**Contact: Shane Boyle, 970-221-6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)**

1. Existing water and sewer mains in the vicinity include an 24-inch water main in Birmingham St, a 16-inch water main in Horsetooth, an 18-inch sanitary sewer in Birmingham, and a 15-inch sewer main in Horsetooth.
2. This project will be required to route a 15-inch sanitary sewer through the site from Birmingham to Horsetooth. Additionally, a water loop will be required in order to provide adequate water service to the proposed development. This loop will need to be made from the water main in Birmingham to the main in Horsetooth.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. Development fees and water rights will be due at building permit.

**Department: Traffic Operations**

**Contact: Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)**

1. The anticipated traffic volume from this development meets the threshold for needing a Traffic Impact Study. Please have your traffic engineer contact me to scope the study.
2. No connection to Birmingham is shown, which is what was assumed when Birmingham was constructed. We'll need to figure out whether a connection is needed / appropriate. At a minimum a bike / ped connection should be included.
3. You'll need adjacent street improvements (including detached sidewalk) along Horsetooth.

**Department: Stormwater Engineering**

**Contact: Shane Boyle, 970-221-6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Foothills Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or [jschlam@fcgov.com](mailto:jschlam@fcgov.com).



3. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate. The outfall for this site is the storm sewer on the south side of Horsetooth. No developed release into the adjacent irrigation ditch will be permitted.
4. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - A. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - B. 75% of all newly added or modified impervious area must be treated by LID techniques. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at: <http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
6. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.
7. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq. ft. and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all exterior portions of any building perimeter. If the fire lane involves a private drive, an Emergency Access Easement shall be dedicated by separate document and fire lane specifications shall apply. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
  - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
  - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
  - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
  - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
  - > Be visible by painting and/or signage, and maintained unobstructed at all times.
  - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

## 2. DEAD-END FIRE LANES

The loop road creates a dead-end condition of approximately 750' in length. Dead-end roads in excess of 660' in length are not permitted and a second point of access is required. Providing increased connectivity with Birmingham Dr. to the north would resolve this problem. Code language provided below.

- > FCLUC 3.6.2(B)2006; 06IFC 503.2.5 and Appendix D: Dead-end fire apparatus access roads cannot exceed 660 feet in length.

## 3. WATER SUPPLY

A hydrant is required within 300' of any building as measured along an approved path of vehicle travel. At this time, it appears that at least two hydrants will be required within the site.

- > IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building, on 600-foot centers thereafter.

## 4. AUTOMATIC FIRE SPRINKLER SYSTEM

Buildings will require a full NFPA13 automatic fire sprinkler system (not 13R) under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.

## 5. CLUBHOUSE

Should the building exceed 5000 square feet, it shall be sprinklered or fire contained. If containment is used, the containment construction shall be reviewed and approved by the Poudre Fire Authority prior to installation. Should the occupant load of the A-2 assembly exceed 99 persons, the clubhouse will require a sprinkler system.

**Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat or feature (Pleasant Valley and Lake Canal and Urban Plains Forest). Please note the buffer zone standards of 50' for these features, as identified in Section 3.4.1(E) of the Land Use Code, as you proceed with your site design process.

Please contact me if you would like to discuss the scope and requirements of the ECS further. Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.

2. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping is incompatible with the purposes of the buffer zone. Please



ensure that your ECS discusses the existing vegetation and identifies potential restoration options. If it is determined to be insufficient, then restoration and mitigation measures will be required.

3. With respect to lighting, the City of Fort Collins Land Use Code, in Article 3.2.4(D)(6) requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to the buffer areas.
4. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
5. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
6. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
7. If tree mitigation is necessary, please include the following note on the tree mitigation plan and/or landscape plan, as appropriate: "All tree removal shown shall be completed outside of the songbird nesting season (Feb 1 - July 31) or a survey will be conducted of the trees to be removed to ensure that no active nests are present."
8. Please be aware, the creation or enforcement of covenants that prohibit or limit xeriscape or drought-tolerant landscapes, or that require primarily turf-grass are prohibited by both the State of Colorado and the City of Fort Collins.
9. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
  1. ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)
  2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)
  3. Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  4. Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  5. Integrated Design Assistance Program: [fcgov.com/idap](http://fcgov.com/idap), contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)
  6. Nature in the City Strategic Plan: [fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/](http://fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/), contact Justin Scharon at 970-221-6213 or [jscharon@fcgov.com](mailto:jscharon@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

10. This site is not currently located within a 10-minute walk to nature, which is a priority of the Nature in the City Strategic Plan. Incorporating trail connections, as well as secluded areas,

seating and/or gathering spaces in or adjacent to the Natural Habitat Buffer Zone would serve as an amenity for the site and give residents an opportunity to access and connect with nature.

**Department: Engineering Development Review**

**Contact: Katie Sexton, 970-221-6501, [ksexton@fcgov.com](mailto:ksexton@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see:  
<http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.
4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at:  
<http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. ROW will need to be dedicated and frontage improvements installed (including curb, gutter, parkway, and sidewalk) along the property's Horsetooth frontage per LCUASS 4-lane arterial cross-section
7. Section 3.6.3 of the Land Use Code (Street Pattern and Connectivity Standards) is intended to ensure that the local street system is well designed with regard to safety, efficiency, and convenience for automobile, bicycle, pedestrian, and transit modes of travel. The existing stub to the property was created with the intention of allowing for said safety, efficiency, and convenience – and section 3.6.3 (F) requires the continuation of the stub. Please review the other sections of 3.6.3 as you alter your site plan and note Land Use Code procedures for alternative compliance in 3.6.3 (H).
8. LCUASS access spacing requires the Horsetooth access to be between 460' and 660' from neighboring access points – the current site plan appears to meet this requirement.
9. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
10. This project is responsible for dedicating any easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along Horsetooth, 9 foot along Birmingham).
11. Utility plans will be required and a Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
12. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
13. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need



to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.

14. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
15. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
16. In regards to construction of this site: the public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. Light and Power has single phase and three phase facilities in the area to feed the development.
2. Contact Light and Power Engineering to coordinate the transformer locations, please show the locations on the utility plans. Transformer must be within 10' of an asphalt/concrete surface.
3. Electric Capacity Fee, Building Site charges, and any necessary system modification charges will apply. Please see the Electric Estimating Calculator and Electric Construction Policies, Practices & Procedures at the following link:  
<http://www.fcgov.com/utilities/business/builders-and-developers>
4. Please contact Light & Power Engineering if you have any questions at 221-6700.

**Department: Building Inspection**

**Contact: Sarah Carter, 970-416-2748, [scarter@fcgov.com](mailto:scarter@fcgov.com)**

1. Please schedule a pre-submittal meeting for this project. Pre-Submittal meetings assist the designer/builder by assuring, early on in the design, that the new projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective. Applicants of new projects should email [scarter@fcgov.com](mailto:scarter@fcgov.com) to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.
- 1.

**Department: Advance Planning**

**Contact: Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)**

1. Landscape setback from the ROW for vehicle use areas is 10ft from a non-arterial and 15ft from an arterial.

- 1.

## Planning Services

Contact: Clay Frickey, 970-224-6045, [cfrickey@fcgov.com](mailto:cfrickey@fcgov.com)

1. The plan as shown does not meet the connecting walkway standard in 3.5.2(D)(1) nor does the site plan provide the necessary connection to Birmingham Dr. The sidewalk network on the site is discontinuous and requires pedestrians to cross drive aisles with no delineation of pedestrian paths. The site plan also does not have buildings oriented to any sort of street, rather they are oriented around a parking lot with little connectivity to the sidewalk and road network in the surrounding area. The site plan will require fundamental changes to meet these code requirements. Staff would be happy to meet and discuss these changes in further detail.
2. While the project narrative contains the number of bicycle parking spaces to be provided as part of this development, the site plan does not show the location of these bicycle parking spaces. Please provide more detail on where bicycle parking will be provided on-site. If the enclosed spaces will be provided in the unit, please submit a floor plan of each unit type showing where the bicycle parking will be provided.
3. What is the square footage of each building? The maximum floor area allowed per building in the LMN is 14,000 sq. ft. If any of the buildings exceed the maximum floor area, you will be required to submit a modification request to this standard.
4. The maximum number of units allowed per building in the LMN is 12. Three of the buildings exceed the maximum number of units. Please submit a modification request to this standard.
5. The submittal does not include proposed elevations for the A2 building. Include the proposed elevations for A2 as part of your PDP submittal.
6. Will the elevations for all of the 8-unit buildings be the same? Since there are more than 7 buildings proposed as part of this plan, there will need to be 3 distinctly different building designs. It is unclear if this proposal meets that standard at the moment.
7. 10% of the parking lot interior must be landscaped. Please include a table that shows how much of the interior parking area is dedicated towards landscaping as part of your PDP submittal.
8. It is unclear how this plan meets the parking lot perimeter landscaping. Parking areas abutting streets and adjacent uses must be screened to screen at least 75% of the shine from headlights. The parking areas also must have one tree per 25 lineal feet.
9. The proposed development project is subject to a Type 2 (Planning and Zoning Board) review and public hearing. The applicant for this development request is required to hold a neighborhood information meeting prior to formal submittal of the proposal. Neighborhood meetings offer an informal way to get feedback from your surrounding neighbors and discover any potential hiccups prior to the formal hearing. Please contact me, at 221-6750, to assist you in setting a date, time, and location. I and possibly other City staff, would be present to facilitate the meeting.
10. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.



- 11.** This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
- 12.** If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
- 13.** Please see the Submittal Requirements and Checklist at:  
<http://www.fcgov.com/developmentreview/applications.php>.
- 14.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 15.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.

## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*20012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*20012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

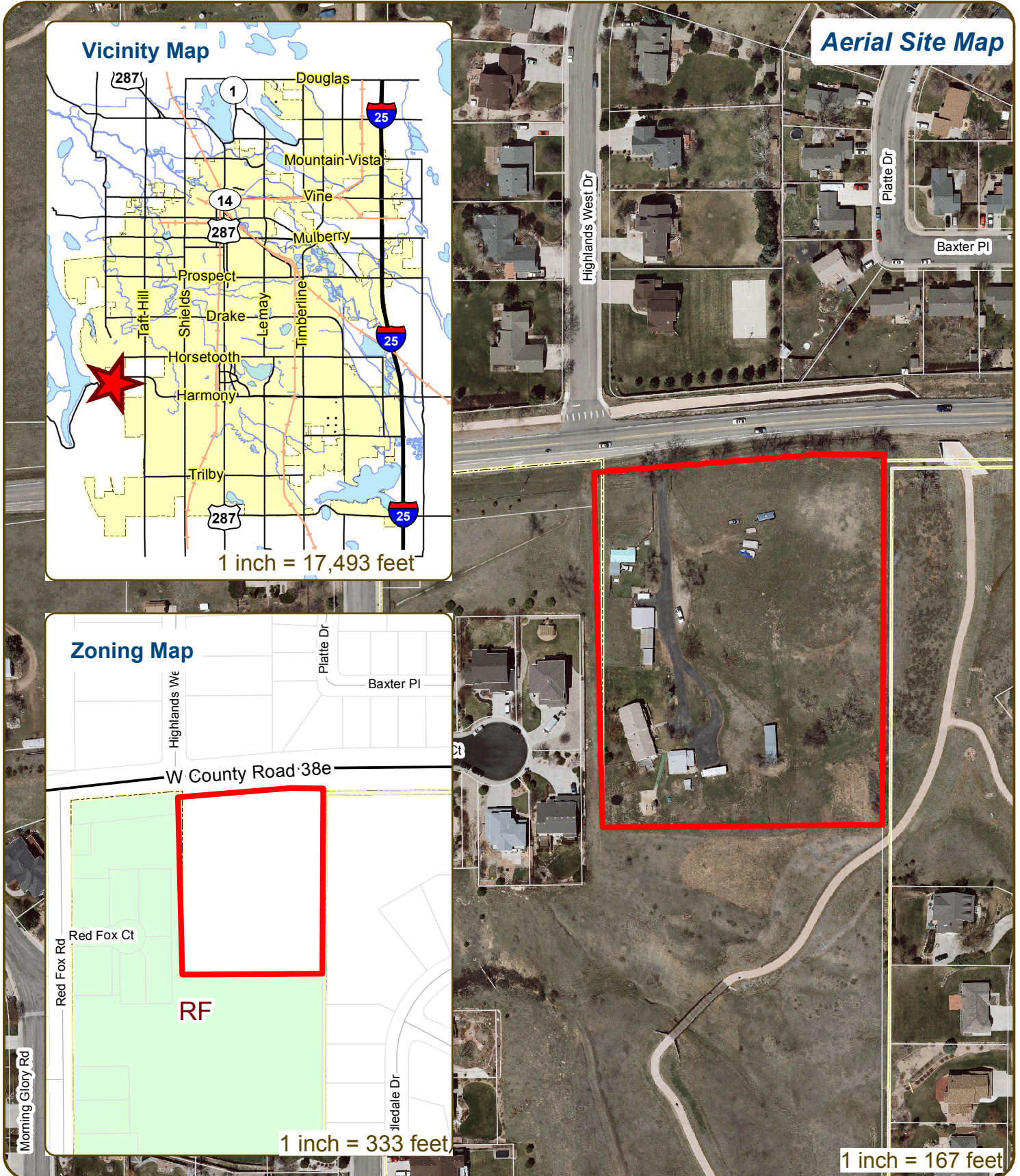
1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341



# 2629 W Harmony Rd Annexation and Initial Zoning



These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.







CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) \_\_\_\_\_

TIM HALOPOFF, PE (CIVIL ENG) KEN MERRITT, ARA, RLA (PLANNER/LA)

Business Name (if applicable) JR ENGINEERING

Your Mailing Address 2900 S. COLLEGE AVENUE, STE. 3D, FT. COLLINS, CO 80525

Phone Number 970.491.9888 Email Address thalopoff@jrengineering.com

Site Address or Description (parcel # if no address) 2629 W. HARMONY ROAD (CR 38 E), FORT COLLINS, CO 80526 (TOTAL PROPERTY AREA = ± 3.874 ACRE = ± 168,734 SF)

Description of Proposal (attach additional sheets if necessary) EXISTING ESTATE RANCH HOME AND GUEST HOUSE TO REMAIN ON LOT 1, IN A CLUSTERED SUBDIVISION ADDING SIX (6) SINGLE-FAMILY AND TWO (2) PAIRED LOTS, ALONG W/ PUBLIC ROADWAY, PRIVATE DRIVE & TRAILS.

Proposed Use SINGLE FAMILY & PAIRED RESID. Existing Use SINGLE FAMILY RESIDENTIAL

Total Building Square Footage ± 2,500 S.F. Number of Stories 2 MAX Lot Dimensions SF = ± 65' x 100' + BSMT. PAIRED = ± 70' x 100'

Age of any Existing Structures CIRCA 1925 (RANCH HOUSE TO REMAIN)

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

Is your property in a Flood Plain?  Yes  No If yes, then at what risk is it? \_\_\_\_\_

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area ± 25,500 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan: Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



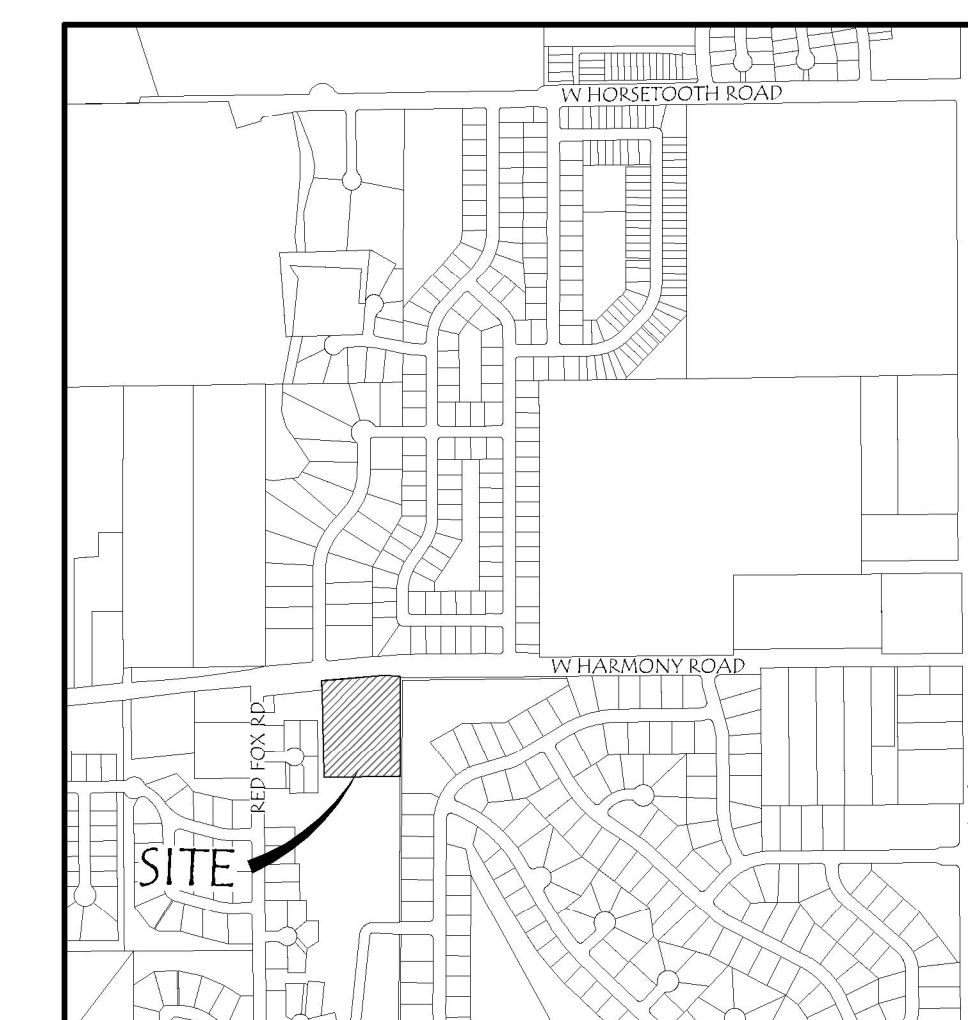
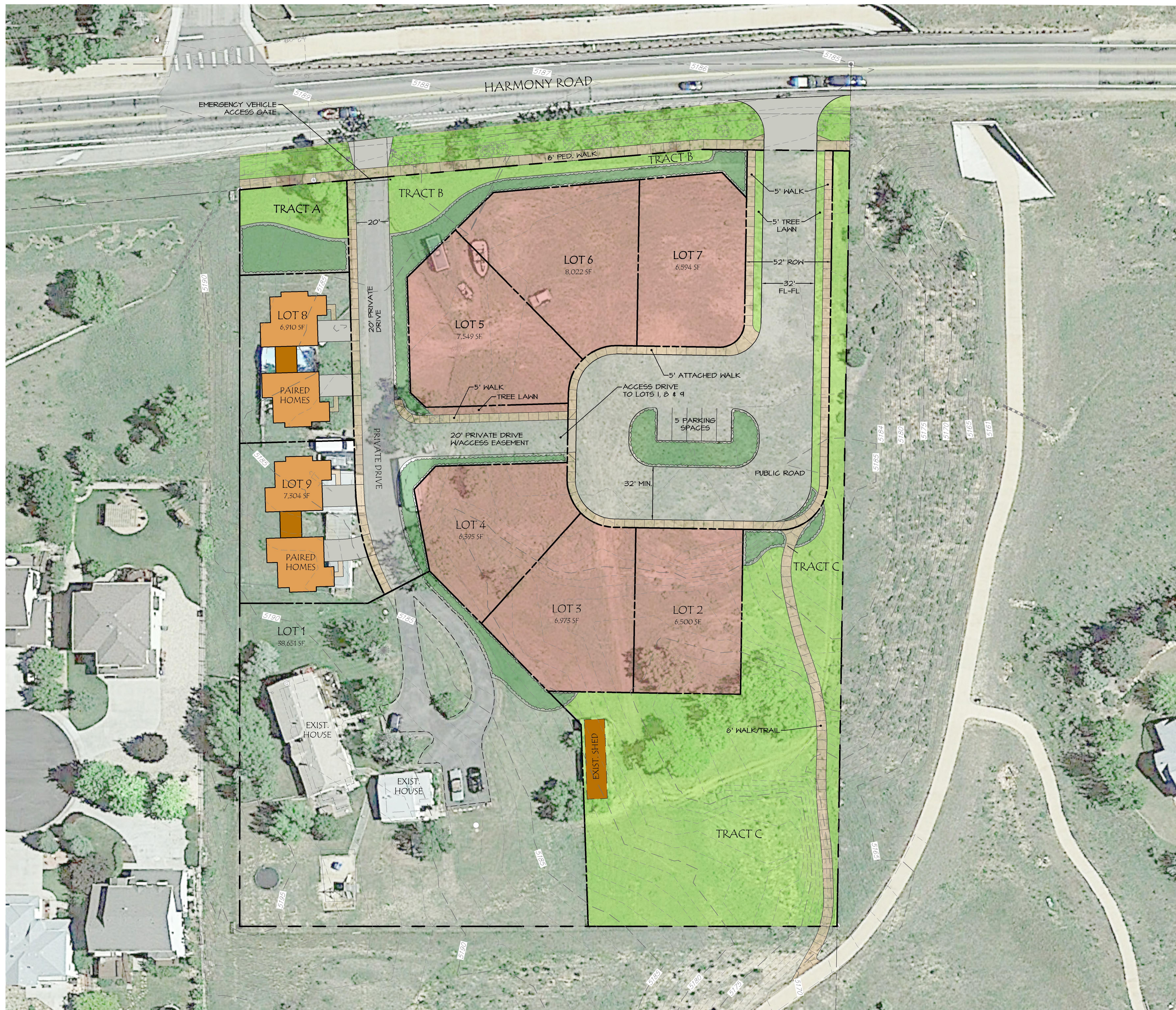


W Co Rd 38E



# 2629 W. HARMONY ROAD

## CONCEPT SITE PLAN



VICINITY MAP  
NTS

### LANDUSE DATA

CURRENT ZONING:	FA-1: COUNTY
STRUCTURE PLAN:	URBAN ESTATE NEIGHBORHOOD
LAND USE DESIGNATION:	URBAN ESTATE (AFTER ANNEXATION/ZONING TO CITY)
PROPOSED ZONING:	
TOTAL SITE AREA:	3.87 AC (168,734 SF)
TOTAL LOT AREA:	95,198 SF 56.4% OF TOTAL SITE AREA
TOTAL PRIVATE & PUBLIC PAVED AREA:	23,515 SF 13.9% OF TOTAL SITE AREA
TOTAL OPEN SPACE AREA: (TRACT A, B & C)	50,021 SF 29.7% OF TOTAL SITE AREA



CONCEPT SITE PLAN  
2629 W. HARMONY ROAD  
JOB NO. 3473300  
APRIL 21, 2016  
SHEET 1 OF 1



Centennial 303-740-9393 • Colorado Springs 719-593-2593  
Fort Collins 970-491-9888 • www.jrengineering.com





May 31, 2016

Tim Halopoff  
JR Engineering  
2900 S College Ave  
Suite 3D  
Fort Collins, CO 80525

**Re:** 2629 W Harmony Rd - Annexation and Initial Zoning

**Description of project:** This is a request to annex a property and create a cluster subdivision at 2629 W Harmony Rd (parcel #9733300041). The existing single-family home and guest house will remain. The subdivision would contain 8 new lots with a private drive, shared parking spaces, and a trail connection to the Fossil Creek Trail. The site will be zoned Urban Estate (UE). This proposal will be subject to Annexation and Initial Zoning.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Noah Beals, at 970-416-2313 or [nbeals@fcgov.com](mailto:nbeals@fcgov.com).

**Comment Summary:**

**Department: Water-Wastewater Engineering**

**Contact:** Shane Boyle, 970-221-6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)

1. Water and sewer service for this site will be provided by Fort Collins-Loveland Water District and South Fort Collins Sanitation District.

**Department: Traffic Operations**

**Contact:** Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)

1. The anticipated change in traffic volume is not expected to rise to the threshold of needing a TIS. Based on section 4.2.3.D of LCUASS, the Traffic Impact Study requirement can be waived. Although the study can be waived, note that there may be traffic related details that will need to be determined during the process.
2. It would be best if the access could align with the roadway across CR 38E. If not, we'll need to maximize the access spacing.
3. Since CR 38E is an arterial, a full movement access will require a left turn lane.
4. Frontage improvements along CR 38E will be needed, and the trail connection is very nice.
5. Overall internal street layout seems awkward and not very intuitive.

**Department: Stormwater Engineering**

**Contact: Shane Boyle, 970-221-6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Fossil Creek Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage report, erosion control report, and construction plans are required and they must be prepared by a Professional Engineer registered in Colorado. The drainage report must address the four-step process for selecting structural BMPs. There is a final site inspection required when the project is complete and the maintenance is handed over to an HOA or another maintenance organization. The erosion control report requirements are in the Fort Collins Stormwater Manual, Section 1.3.3, Volume 3, Chapter 7 of the Fort Collins Amendments. If you need clarification concerning this section, please contact the Erosion Control Inspector, Jesse Schlam at 224-6015 or [jschlam@fcgov.com](mailto:jschlam@fcgov.com).
3. Onsite detention is required for the runoff volume difference between the 100-year developed inflow rate and the 2-year historic release rate. The outfall for this site is the either the existing drainage channel to the east or the County Road 38E right-of-way. If the channel to the east is utilized as an outfall, a drainage easement will be required from the property owner.
4. Fifty percent of the site runoff is required to be treated using the standard water quality treatment as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs).  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>) Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.
5. Low Impact Development (LID) requirements are required on all new or redeveloping property which includes sites required to be brought into compliance with the Land Use Code. These require a higher degree of water quality treatment with one of the two following options:
  - A. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - B. 75% of all newly added or modified impervious area must be treated by LID techniques. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at: <http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
6. Per Colorado Revised Statute §37-92-602 (8) effective August 5, 2015, criteria regarding detention drain time will apply to this project. As part of the drainage design, the engineer will be required to show compliance with this statute using a standard spreadsheet (available on request) that will need to be included in the drainage report. Upon completion of the project, the engineer will also be required to upload the approved spreadsheet onto the Statewide Compliance Portal. This will apply to any volume based stormwater storage, including extended detention basins and bio-retention cells.
7. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq. ft. and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.



**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

**1. FIRE LANES**

Fire access is required to within 150' of all exterior portions of any building perimeter. This shall also apply to the existing residence on Lot 1. If a private drive is required to be a fire lane, an Emergency Access Easement shall be dedicated by separate document and fire lane specifications shall apply. Code language provided below.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. When any portion of the facility or any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access, the fire code official is authorized to increase the dimension if the building is equipped throughout with an approved, automatic fire-sprinkler system.

**FIRE LANE SPECIFICATIONS**

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
  - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
  - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
  - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
  - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
  - > Be visible by painting and/or signage, and maintained unobstructed at all times.
  - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

**2. WATER SUPPLY**

A hydrant is required within 400' of any residential structure. At this time, the existing utility infrastructure available in the area does not appear to support the code requirement and an additional hydrant would be needed. Code language provided below.

> IFC 508.1 and Appendix B: RESIDENTIAL REQUIREMENTS: Within the Urban Growth Area, hydrants to provide 1,000 gpm at 20 psi residual pressure, spaced not further than 400 feet to the building, on 800-foot centers thereafter.

**Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. An Ecological Characterization Study is required by Section 3.4.1 (D)(1) as the site is within 500 feet of a known natural habitat or feature (native grassland). Please note the buffer zone standard of 50' for this feature, as identified in Section 3.4.1(E) of the Land Use Code, as you proceed with your site design process.

Please contact me if you would like to discuss the scope and requirements of the ECS further. Please note that the Ecological Characterization Study is due a minimum of 10 days prior to the PDP submittal.

2. Within the buffer zone, according to Article 3.4.1(E)(1)(g), the City has the ability to determine if the existing landscaping is incompatible with the purposes of the buffer zone. Please ensure that your ECS discusses the existing vegetation and identifies potential restoration options. If it is determined to be insufficient, then restoration and mitigation measures will be required.
3. This project must also comply with the following standard, Section 3.4.1(L) Compatibility with Public Natural Areas or Conserved Land, as it is adjacent to Cathy Fromme Prairie Natural Area. If the project contains or abuts a publicly owned natural area or conserved land, the development plan shall be designed so that it will be compatible with the management of such natural area or conserved land. In order to achieve this, the development plan shall include measures such as barriers or landscaping measures to minimize wildlife conflicts, setbacks or open space tracts to provide a transition between the development and the publicly owned natural area or conserved land, and educational signage or printed information regarding the natural values, management needs and potential conflicts associated with living in close proximity to such natural area or conserved land.

The Land Use Code requires that whenever a project abuts a Natural Area, then compatibility with and reasonable public access to that Natural Area is required. Please ensure your ECS addresses this code requirement, see Section 3.4.1(L)(M) for more information.

4. With respect to lighting, the City of Fort Collins Land Use Code, in Article 3.2.4(D)(6) requires that "natural areas and natural features shall be protected from light spillage from off site sources." Thus, lighting from the parking areas or other site amenities shall not spill over to the buffer areas.
5. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
6. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
7. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "... (4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.
8. If tree mitigation is necessary, please include a note on the tree mitigation plan and/or landscape plan, as appropriate, that requires a tree removal to occur outside of the migratory songbird nesting season (February 1-July 31), or that a survey be conducted prior to removal to ensure no active nests in the area.
9. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:

1. Green Building Program: <http://www.fcgov.com/enviro/green-building.php>, contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)

2. Solar Energy:

<http://www.fcgov.com/utilities/residential/renewables/solar-contractors-resources>, contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)



3. Urban Agriculture: <http://www.fcgov.com/developmentreview/urbanagriculture.php>
4. Nature in the City Strategic Plan: [fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/](http://fcgov.com/planning/natureinthecity/?key=advanceplanning/natureinthecity/), contact Justin Scharton at 970-221-6213 or [jscharton@fcgov.com](mailto:jscharton@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts.

**Department: Engineering Development Review**

**Contact: Sheri Langenberger, 970-221-6573, [slangenberger@fcgov.com](mailto:slangenberger@fcgov.com)**

1. Marc Ragasa [mragasa@fcgov.com](mailto:mragasa@fcgov.com) or 221-6603 will be the Engineer assigned to this project. Please contact him if you have further questions regarding the engineering comments or requirements.
2. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
3. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
4. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. This shall including the standard utility easements that are to be provided behind the right-of-way (15 foot along an arterial (CR38E), and 9 foot along all other street classifications). Additional ROW will need to be dedicated for CR38E to accommodate the road section.
7. Utility plans will be required and a Development Agreement will be recorded once the project is finalized.
8. As of January 1, 2015 all development plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
9. The proposed street doesn't meet access spacing. We would prefer to see a street coming into the site aligned with Highlands West Drive. We understand that this may not be possible, but the adjacent parcel does belong to the City, so it might be. If not, the new access will need to be as far east as possible as shown.
10. If needed an emergency access driveway can be provided out to CR38E. We would need to work with the applicant regarding the design of this – it would not be a driveway cut and we would need to determine the gate placement and operation, as it cannot swing out into the right-of-way.
11. The cul-de-sac would need to be designed to LCUASS, including detached sidewalk and parking provided for each lot adjacent to the cul-de-sac.
12. The project is responsible for the design and construction of the properties local street frontage along CR38E adjacent to the site including preliminary off-site design.
13. A left turn lane is needed into the site, as such widening of CR38E will be needed to accommodate the left turn lane and transitions needed.

14. All lots need to have frontage on a public right-of-way or shall have a minimum 20 foot wide access easement adjacent to the lot for it to be a legal lot.
15. A Development Construction Permit (DCP) will need to be obtained prior to starting any work on the site.
16. All fences, barriers, posts or other encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
17. Any rain gardens within the right-of-way cannot be used to treat the development/ site storm runoff. We can look at the use of rain gardens to treat street flows – the design standards for these are still in development.
18. In regards to construction of this site. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.

**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. Light and Power has single phase facilities in the area to transfer the current electric utility over to The City of Fort Collins Light and Power.
2. Electric Capacity Fee, Building Site charges, and any necessary system modification charges will apply. Please see the Electric Estimating Calculator and Electric Construction Policies, Practices & Procedures at the following link:  
<http://www.fcgov.com/utilities/business/builders-and-developers>
3. Contact Light and Power Engineering to coordinate the transformer locations, please show the locations on the utility plans. Transformer must be within 10' of an asphalt/concrete surface.
4. Please contact Light & Power Engineering if you have any questions at 221-6700.

**Planning Services**

**Contact: Noah Beals, 970-416-2313, [nbeals@fcgov.com](mailto:nbeals@fcgov.com)**

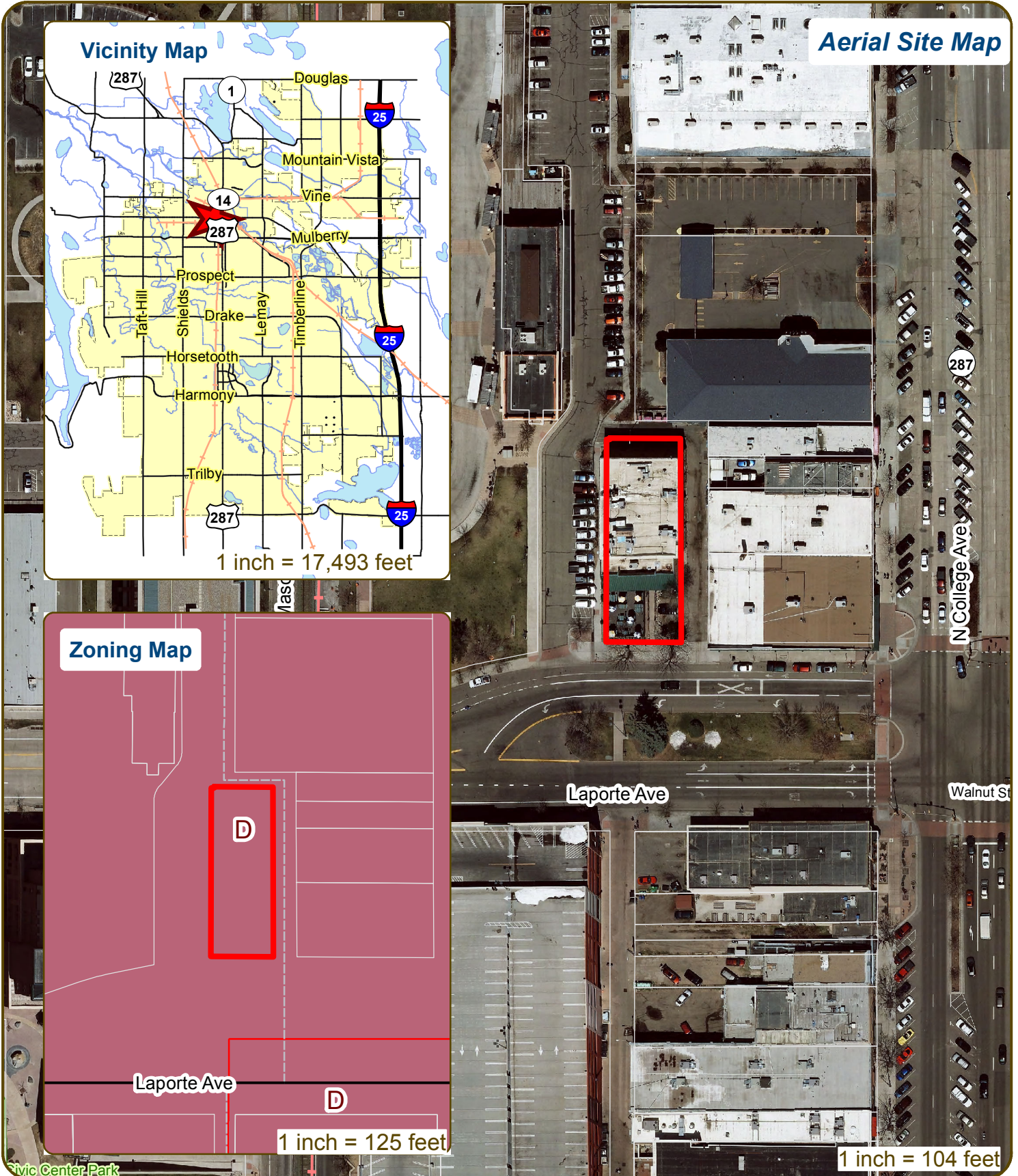
1. This property is not annexed into the City and will need to be annexed and Zoned.  
  
The property will also need to be reviewed through a Development Review with Plat.
2. The surrounding Zoning is R-F. However, the Structure Plan appears to indicate that this area should be zoned U-E.
3. The application makes mention of a Cluster Development. A Cluster Development requires that 50% of the land be reserved in open space. The plan appears to be more than 50% of residential lots.
4. What is the existing shed on Tract C for. It is to serve Lot1 it should be included in Lot 1.



**5.** Detached sidewalks should continue along the cul-de-sac of the public road.

The private drive should also include detached sidewalk.

# 132 Laporte Ave Music Venue



**Aerial Site Map**

**Vicinity Map**

1 inch = 17,493 feet

**Zoning Map**

1 inch = 125 feet

1 inch = 104 feet

These map products and all underlying data are developed for use by the City of Fort Collins for its internal purposes only, and were not designed or intended for general use by members of the public. The City makes no representation or warranty as to its accuracy, timeliness, or completeness, and in particular, its accuracy in labeling or displaying dimensions, contours, property boundaries, or placement of location of any map features thereon. THE CITY OF FORT COLLINS MAKES NO WARRANTY OF MERCHANTABILITY OR WARRANTY FOR FITNESS OF USE FOR PARTICULAR PURPOSE, EXPRESSED OR IMPLIED, WITH RESPECT TO THESE MAP PRODUCTS OR THE UNDERLYING DATA. Any users of these map products, map applications, or data, accepts same AS IS, WITH ALL FAULTS, and assumes all responsibility of the use thereof, and further covenants and agrees to hold the City harmless from and against all damage, loss, or liability arising from any use of this map product, in consideration of the City's having made this information available. Independent verification of all data contained herein should be obtained by any users of these products, or underlying data. The City disclaims, and shall not be held liable for any and all damage, loss, or liability, whether direct, indirect, or consequential, which arises or may arise from these map products or the use thereof by any person or entity.







CONCEPTUAL REVIEW: APPLICATION

General Information

All proposed development projects begin with Conceptual Review. Anyone with a development idea can schedule a Conceptual Review meeting to get feedback on prospective development ideas. At this stage, the development idea does not need to be finalized or professionally presented. However, a sketch plan and this application must be submitted to City Staff prior to the Conceptual Review meeting. The more information you are able to provide, the better feedback you are likely to get from the meeting. Please be aware that any information submitted may be considered a public record, available for review by anyone who requests it, including the media.

Conceptual Reviews are scheduled on three Monday mornings per month on a "first come, first served" basis. One 45 meeting is allocated per applicant and only three conceptual reviews are done each Monday morning. Conceptual Review is a free service. Complete applications and sketch plans must be submitted to City Staff no later than 5 pm, two Tuesdays prior to the meeting date. Application materials must be e-mailed to currentplanning@fcgov.com. If you do not have access to e-mail, other accommodations can be made upon request.

At Conceptual Review, you will meet with Staff from a number of City departments, such as Community Development and Neighborhood Services (Zoning, Current Planning, and Development Review Engineering), Light and Power, Stormwater, Water/Waste Water, Advance Planning (Long Range Planning and Transportation Planning) and Poudre Fire Authority. Comments are offered by staff to assist you in preparing the detailed components of the project application. There is no approval or denial of development proposals associated with Conceptual Review. At the meeting you will be presented with a letter from staff, summarizing comments on your proposal.

\*BOLDED ITEMS ARE REQUIRED\* \*The more info provided, the more detailed your comments from staff will be.\*

Contact Name(s) and Role(s) (Please identify whether Consultant or Owner, etc) Cathy Mathis, TB Group - Project Planner

Bob Hosanna, Neenan Archistruction - Project Architect

Business Name (if applicable) TB Group

Your Mailing Address 444 Mountain Avenue Berthoud CO 80513

Phone Number 970.532.5891 Email Address cathy@tbgroup.us

Site Address or Description (parcel # if no address) 132 W. Laporte Avenue

Description of Proposal (attach additional sheets if necessary) Conversion of Washington's Sports Bar and Grill to a music venue

Proposed Use Music Venue Existing Use Restaurant

Total Building Square Footage 18-20,000 S.F. Number of Stories 2 Lot Dimensions 62' x 160' +/-

Age of any Existing Structures 118 years

Info available on Larimer County's Website: http://www.co.larimer.co.us/assessor/query/search.cfm

If any structures are 50+ years old, good quality, color photos of all sides of the structure are required for conceptual.

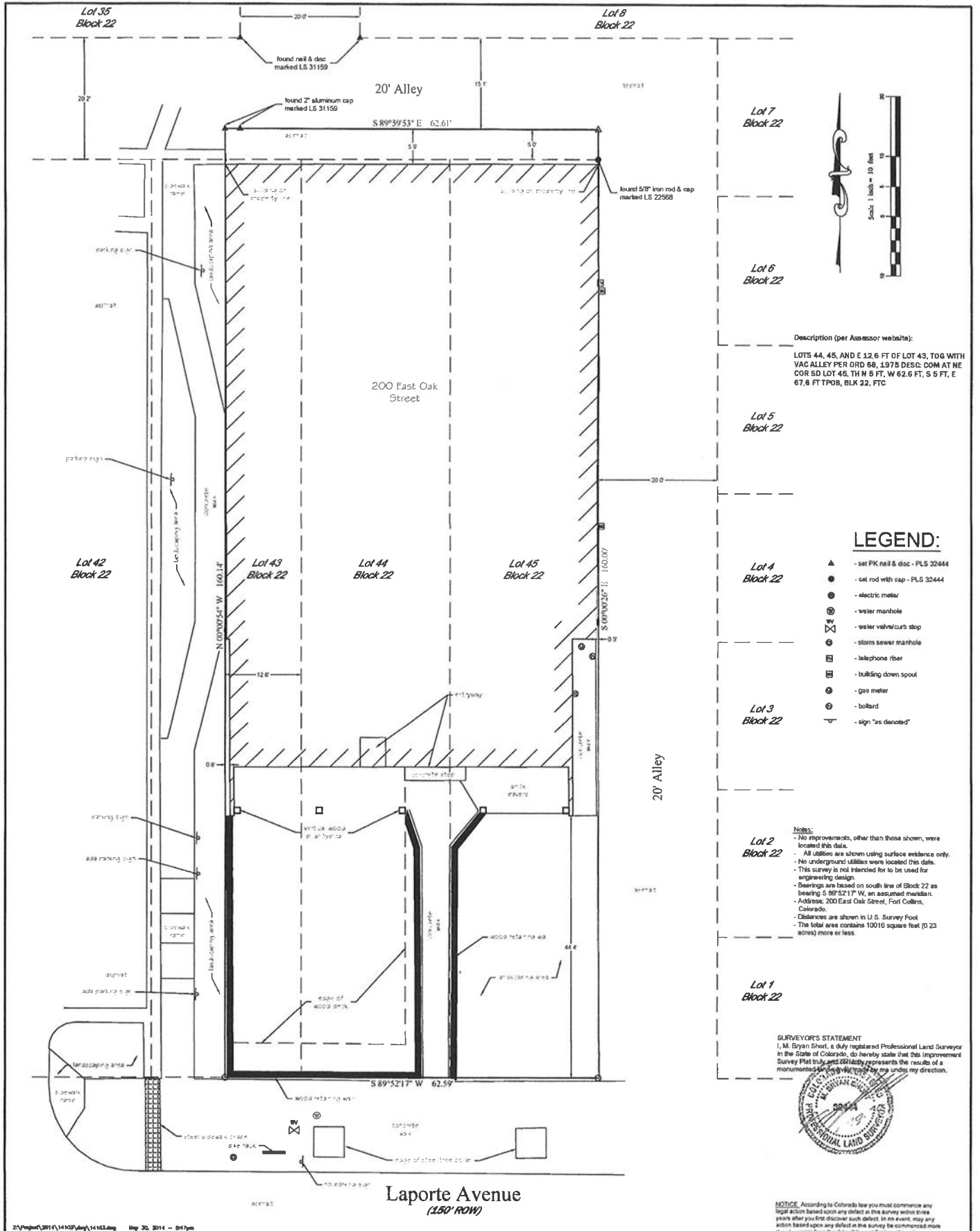
Is your property in a Flood Plain? [ ] Yes [x] No If yes, then at what risk is it?

Info available on FC Maps: http://gisweb.fcgov.com/redirect/default.aspx?layerTheme=Floodplains.

Increase in Impervious Area 0 S.F. (Approximate amount of additional building, pavement, or etc. that will cover existing bare ground to be added to the site)

Suggested items for the Sketch Plan:

Property location and boundaries, surrounding land uses, proposed use(s), existing and proposed improvements (buildings, landscaping, parking/drive areas, water treatment/detention, drainage), existing natural features (water bodies, wetlands, large trees, wildlife, canals, irrigation ditches), utility line locations (if known), photographs (helpful but not required). Things to consider when making a proposal: How does the site drain now? Will it change? If so, what will change?



CLIENT <b>Commercial Real Estate Brokers, LLC</b>		TITLE <b>Improvement Survey Plat</b> <b>132 LaPorte Avenue</b> Section 14, Township 7 North, Range 69 West, 6th PM, Larimer County, Colorado	
Date _____ Date _____ Date _____	REVISIONS Description _____ Description _____ Description _____	PLS Group, LLC 6843 North Franklin Avenue, Loveland, CO 80538 Office 970.669.2100 - 970.669.3652 Fax	Field Date <u>5 / 28 / 2014</u> ST <u>W/S</u> Party Chief <u>DCB</u> PM <u>CLT</u> Scale <u>1"=10'</u> PLS <u>NBS</u>
PROJECT NO <b>14103.001</b>			







May 31, 2016

Cathy Mathis  
TB Group  
444 Mountain Ave  
Berthoud, CO 80513

**Re:** 132 Laporte Ave - Music Venue

**Description of project:** This is a request the change the use of the existing bar and restaurant at 132 Laporte Ave to a music venue (parcel #9711125043). The proposed site plan shows an addition on the front of the building along Laporte Ave. The building will be 18-20,000 sq. ft. upon completion. The site is located in the Downtown (D) zone district. This proposal will be subject to Administrative (Type I) review.

Please see the following summary of comments regarding the project request referenced above. The comments offered informally by staff during the Conceptual Review will assist you in preparing the detailed components of the project application. Modifications and additions to these comments may be made at the time of formal review of this project. If you have any questions regarding these comments or the next steps in the review process, you may contact the individual commenter or direct your questions through the Project Planner, Seth Lorson, at 970-224-6189 or [slorson@fcgov.com](mailto:slorson@fcgov.com).

**Comment Summary:**

**Department: Zoning**

**Contact:** Ali van Deutekom, 970-416-2743, [avandeutekom@fcgov.com](mailto:avandeutekom@fcgov.com)

1. How will trash be handled? Is there an opportunity to create a shared trash area for the all the businesses along the alley?

**Department: Water-Wastewater Engineering**

**Contact:** Shane Boyle, 970-221-6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)

1. Water service for the existing building is provided by a combined 6-inch water and fire service connected to the water main on the south side of Laporte Ave. The existing domestic service is a 2-inch. Existing sewer is provided by a 6-inch service.
2. It is assumed there will be no revisions to the water or sewer services with this development. If that changes, please coordinate with Water Utilities Engineering to discuss a strategy and requirements.
3. The water conservation standards for landscape and irrigation will apply. Information on these requirements can be found at: <http://www.fcgov.com/standards>
4. If there are changes to the services, development fees and water rights may be assessed and will be due at building permit.

**Department: Traffic Operations**

**Contact:** Martina Wilkinson, 970-221-6887, [mwilkinson@fcgov.com](mailto:mwilkinson@fcgov.com)



1. We'll need to get an estimate of the anticipated traffic associated with the proposal to determine whether any further traffic analysis or traffic impact study is needed. How many total attendees? How often? How is that different from the existing use?
2. You'll likely need a lot of bike parking.
3. Where will vehicle parking occur. Work with the Planning department on how this will meet code.

**Department: Stormwater Engineering**

**Contact: Shane Boyle, 970-221-6339, [sboyle@fcgov.com](mailto:sboyle@fcgov.com)**

1. The design of this site must conform to the drainage basin design of the Old Town Master Drainage Plan as well the Fort Collins Stormwater Criteria Manual.
2. A drainage letter should be sufficient to document the existing drainage patterns and to discuss the water quality measures being provided, if any. The drainage letter needs to address the four-step process for selecting structural BMPs. Also standard operating procedures (SOPs) must be prepared for each of the BMPs being used on the site. They must be prepared by a Professional Engineer registered in Colorado.
3. When improvements are being added to an existing developed site onsite detention is only required if there is an increase in impervious area greater than 5000 square feet. If it is greater, onsite detention is required with a 2-year historic release rate for water quantity.
4. Water quality treatment for 50% of the site is provided for in the Udall Natural Area water treatment facility. However additional onsite water quality treatment is encouraged as described in the Fort Collins Stormwater Manual, Volume 3-Best Management Practices (BMPs). Extended detention is the usual method selected for water quality treatment; however the use of any of the BMPs is encouraged.  
(<http://www.fcgov.com/utilities/business/builders-and-developers/development-forms-guidelines-regulations/stormwater-criteria>)
5. If this project will be going through a Major Amendment process, Low Impact Development (LID) will be required for the redeveloped portion of the site. These require a higher degree of water quality treatment with one of the two following options:
  - A. 50% of the newly added or modified impervious area must be treated by LID techniques and 25% of new paved areas must be pervious.
  - B. 75% of all newly added or modified impervious area must be treated by LID techniques. Standard operating procedures (SOPs) for all onsite drainage facilities will be included as part of the Development Agreement. More information and links can be found at: <http://www.fcgov.com/utilities/what-we-do/stormwater/stormwater-quality/low-impact-development>
6. The 2016 city wide Stormwater development fee (PIF) is \$8,217/acre for new impervious area over 350 sq. ft. and there is a \$1,045.00/acre review fee. No fee is charged for existing impervious area. These fees are to be paid at the time each building permit is issued. Information on fees can be found at: <http://www.fcgov.com/utilities/business/builders-and-developers/plant-investment-development-fees> or contact Jean Pakech at 221-6375 for questions on fees. There is also an erosion control escrow required before the Development Construction permit is issued. The amount of the escrow is determined by the design engineer, and is based on the site disturbance area, cost of the measures, or a minimum amount in accordance with the Fort Collins Stormwater Manual.

**Department: Historic Preservation**

**Contact: Maren Bzdek, 970-221-6206, [mbzdek@fcgov.com](mailto:mbzdek@fcgov.com)**

1. We do not have a current determination of eligibility for 132 Laporte Avenue, which is required for approval of additional alterations to the structure. Please contact staff for

instructions on how to request the historic review. The extensive 1977 changes to the front façade of the building, which negatively impact its integrity, will be the primary factor in the review.

2. The two-story native sandstone warehouse in the rear was constructed between 1901-1906 and retains a high degree of integrity. Historic Preservation staff would be happy to consult with the applicant on options for the adaptive reuse of this portion of the building.
3. This proposal may also be subject to review by the Landmark Preservation Commission under LUC 3.4.7 due to historically designated or eligible properties that may be within the area of adjacency. The historic preservation staff will perform this analysis upon receipt by the City of a detailed proposal.

**Department: Fire Authority**

**Contact: Jim Lynxwiler, 970-416-2869, [jlynxwiler@poudre-fire.org](mailto:jlynxwiler@poudre-fire.org)**

#### 1. FIRE LANES

Fire access is required to within 150' of all exterior portions of the building perimeter. Fire access cannot be measured from an arterial road. If an Emergency Access Easement has not been dedicated previously, one will be required at this time. Please note that additional access requirements come into play for buildings exceeding 30' in height. Code language and fire lane specifications shall apply. See also 2012IFC Appendix D for additional details.

> IFC 503.1.1: Approved fire Lanes shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

#### FIRE LANE SPECIFICATIONS

A fire lane plan shall be submitted for approval prior to installation. In addition to the design criteria already contained in relevant standards and policies, any new fire lane must meet the following general requirements:

- > Shall be designated on the plat as an Emergency Access Easement.
  - > Maintain the required 20 foot minimum unobstructed width & 14 foot minimum overhead clearance.
  - > Be designed as a flat, hard, all-weather driving surface capable of supporting 40 tons.
  - > Dead-end fire access roads in excess of 150 feet in length shall be provided with an approved area for turning around fire apparatus.
  - > The required turning radii of a fire apparatus access road shall be a minimum of 25 feet inside and 50 feet outside. Turning radii shall be detailed on submitted plans.
  - > Be visible by painting and/or signage, and maintained unobstructed at all times.
  - > Additional access requirements exist for buildings greater than 30' in height. Refer to Appendix D of the 2012 IFC or contact PFA for details.
- International Fire Code 503.2.3, 503.2.4, 503.2.5, 503.3, 503.4 and Appendix D; FCLUC 3.6.2(B)2006 and Local Amendments.

#### 2. WATER SUPPLY

A hydrant is required within 300' of the building. The existing utility infrastructure available in the area appears to support this code requirement, however it is the applicant's responsibility to verify pressure and volume. Code language provided below.

> IFC 508.1 and Appendix B: COMMERCIAL REQUIREMENTS: Hydrants to provide 1,500 gpm at 20 psi residual pressure, spaced not further than 300 feet to the building.

#### 3. AUTOMATIC FIRE SPRINKLER SYSTEM

This building will require a full NFPA13 automatic fire sprinkler system under a separate permit. Please contact Assistant Fire Marshal, Joe Jaramillo with any fire sprinkler related questions at 970-416-2868.



#### 4. PUBLIC-SAFETY RADIO AMPLIFICATION SYSTEM TEST

The building will require a fire department, emergency communication system evaluation. Where adequate radio coverage cannot be established within a building, public-safety radio amplification systems shall be designed and installed in accordance with criteria established by the Poudre Fire Authority. Poudre Fire Authority Bureau Admin Policy #07-01

#### **Department: Environmental Planning**

**Contact: Kelly Kimple, 970-416-2401, [kkimple@fcgov.com](mailto:kkimple@fcgov.com)**

1. With respect to landscaping and design, the City of Fort Collins Land Use Code, in Article 3.2.1 (E)(3), requires that you use low-water-use plants and grasses in your landscaping or re-landscaping and reduce bluegrass lawns as much as possible. Native and wildlife-friendly landscaping is encouraged as well.
2. Our city has an established identity as a forward-thinking community that cares about the quality of life it offers its citizens and has many sustainability programs and goals that may benefit your project. Of particular interest may be the:
  1. ClimateWise program: [fcgov.com/climatewise/](http://fcgov.com/climatewise/)
  2. Zero Waste Plan and the Waste Reduction and Recycling Assistance Program (WRAP): [fcgov.com/recycling/pdf/\\_20120404\\_WRAP\\_ProgramOverview.pdf](http://fcgov.com/recycling/pdf/_20120404_WRAP_ProgramOverview.pdf), contact Caroline Mitchell at 970-221-6288 or [cmtichell@fcgov.com](mailto:cmtichell@fcgov.com)
  3. Green Building Program: [fcgov.com/enviro/green-building.php](http://fcgov.com/enviro/green-building.php), contact Tony Raeker at 970-416-4238 or [traeker@fcgov.com](mailto:traeker@fcgov.com)
  4. Solar Energy: [www.fcgov.com/solar](http://www.fcgov.com/solar), contact Norm Weaver at 970-416-2312 or [nweaver@fcgov.com](mailto:nweaver@fcgov.com)
  5. Integrated Design Assistance Program: [fcgov.com/idap](http://fcgov.com/idap), contact Gary Schroeder at 970-224-6003 or [gschroeder@fcgov.com](mailto:gschroeder@fcgov.com)

Please consider the City's sustainability goals and ways for your development to engage with these efforts, and let me know if I can help connect you to these programs.

3. In regard to LED light fixtures, cooler color temperatures are harsher at night and cause more disruption to circadian rhythms for both humans and wildlife. Please consider a warmer color temperature (warm white, 3000K or less) for your LED light fixtures. Please also consider fixtures with dimming capabilities so that light levels can be adjusted as needed.
4. The applicant should make note of Article 3.2.1(C) that requires developments to submit a landscape and tree protection plan, and if receiving water service from the City, an irrigation plan, that: "...(4) protects significant trees, natural systems, and habitat, and (5) enhances the pedestrian environment". Note that a significant tree is defined as a tree having DBH (Diameter at Breast Height) of six inches or more. If any of the trees within this site have a DBH of greater than six inches, a review of the trees shall be conducted with Tim Buchanan, City Forester (970-221-6361 or [tbuchanan@fcgov.com](mailto:tbuchanan@fcgov.com)) to determine the status of the existing trees and any mitigation requirements that could result from the proposed development.

#### **Department: Engineering Development Review**

**Contact: Marc Virata, 970-221-6567, [mvirata@fcgov.com](mailto:mvirata@fcgov.com)**

1. Larimer County Road Impact Fees and Street Oversizing Fees are due at the time of building permit. Please contact Matt Baker at 224-6108 if you have any questions.
2. The City's Transportation Development Review Fee (TDRF) is due at the time of submittal. For additional information on these fees, please see: <http://www.fcgov.com/engineering/dev-review.php>
3. Any damaged curb, gutter and sidewalk existing prior to construction, as well as streets, sidewalks, curbs and gutters, destroyed, damaged or removed due to construction of this

project, shall be replaced or restored to City of Fort Collins standards at the Developer's expense prior to the acceptance of completed improvements and/or prior to the issuance of the first Certificate of Occupancy.

4. All public sidewalk, driveways and ramps existing or proposed adjacent or within the site need to meet ADA standards, if they currently do not, they will need to be reconstructed so that they do meet current ADA standards as a part of this project. The existing driveway will need to be evaluated to determine if the slopes and width will meet ADA requirements or if they need to be reconstructed so that they do.
5. Any public improvements must be designed and built in accordance with the Larimer County Urban Area Street Standards (LCUASS). They are available online at: <http://www.larimer.org/engineering/GMARdStds/UrbanSt.htm>
6. This project is responsible for dedicating any right-of-way and easements that are necessary or required by the City for this project. Based on the context of all the buildings along Laporte being built to the right-of-way, a 15 foot utility easement behind the Laporte Avenue right-of-way isn't required.
7. Civil constructions plans may be required.
8. A Development Agreement may be required and recorded once the project is finalized with the recordation costs paid for by the applicant.
9. As of January 1, 2015 all civil and survey plans are required to be on the NAVD88 vertical datum. Please make your consultants aware of this, prior to any surveying and/or design work.
10. A Development Construction Permit (DCP) or excavation permit for any public improvement will need to be obtained prior to starting any work on the site.
11. LCUASS parking setbacks (Figure 19-6) apply and will need to be followed depending on parking design.
12. All fences, barriers, posts or other non-permanent encroachments within the public right-of-way are only permitted upon approval of an encroachment permit. Applications for encroachment permits shall be made to Engineering Department for review and approval prior to installation. Encroachment items shall not be shown on the site plan as they may not be approved, need to be modified or moved, or if the permit is revoked then the site/ landscape plan is in non-compliance.
13. The street right-of-way cannot be used to treat the development/site storm runoff for low impact development requirements (LID).
14. Bike parking required for the project cannot be placed within the right-of-way and if placed just behind the right-of-way need to be placed so that when bikes are parked they do not extend into the right-of-way.
15. The public right-of-way shall not be used for staging or storage of materials or equipment associated with the Development, nor shall it be used for parking by any contractors, subcontractors, or other personnel working for or hired by the Developer to construct the Development. The Developer will need to find a location(s) on private property to accommodate any necessary Staging and/or parking needs associated with the completion of the Development. Information on the location(s) of these areas will be required to be provided to the City as a part of the Development Construction Permit application.
16. Doors are not allowed to open out into the right-of-way and similarly stairs are not allowed to extend into right-of-way.
17. The median on Laporte Avenue has a mid-block crossing that is heavily utilized. The addition of an ADA/LCUASS compliant receiving ramp abutting the property along Laporte Avenue should be constructed to facilitate receiving this crossing movement.



**Department: Electric Engineering**

**Contact: Luke Unruh, 9704162724, [lunruh@fcgov.com](mailto:lunruh@fcgov.com)**

1. The site is currently feed by a 120/208 three phase transformer.
2. Any changes to the existing electric capacity and or location will initiate electric development and system modification charges. Please coordinate power requirements with Light and Power Engineering at 221-6700.
3. Please reference our policies, development charge processes, and use our fee estimator at <http://www.fcgov.com/utilities/business/builders-and-developers>

**Planning Services**

**Contact: Seth Lorson, 970-224-6189, [slorson@fcgov.com](mailto:slorson@fcgov.com)**

1. The proposed change of use is not considered a change in character therefore the approval process is a Minor Amendment. If changes to the exterior of the building are significant enough to be considered a change in character then it will be a Major Amendment and the following will apply:

Entertainment facilities and theaters shall mean a building or part of a building devoted to showing motion pictures or dramatic, musical or live performances. In the Downtown District - Civic Center Subdistrict, entertainment facilities are required to be reviewed and approved by an Administrative Hearing Officer (Type 1).

Please see Section 2.2.10 of the Land Use Code for greater detail.

2. The extent of the changes will dictate the amount of requirements. For instance, parking requirements are only applicable if an addition to an existing building is greater than 5,000 square feet.
3. Bicycle parking is required to be provided per LUC Sec. 3.2.2(C)(4).
4. The proposed development project is subject to a Type 1 review and public hearing, the decision maker for Type 1 hearings is an Administrative Hearing Officer. The applicant for this development request is not required to hold a neighborhood meeting for a Type 1 hearing, but if you would like to have one to notify your neighbors of the proposal, please let me know and I can help you in setting a date, time and location for a meeting. Neighborhood Meetings are a great way to get public feedback and avoid potential hiccups that may occur later in the review process.
5. Please see the Development Review Guide at [www.fcgov.com/drg](http://www.fcgov.com/drg). This online guide features a color coded flowchart with comprehensive, easy to read information on each step in the process. This guide includes links to just about every resource you need during development review.
6. This development proposal will be subject to all applicable standards of the Fort Collins Land Use Code (LUC), including Article 3 General Development Standards. The entire LUC is available for your review on the web at <http://www.colocode.com/ftcollins/landuse/begin.htm>.
7. If this proposal is unable to satisfy any of the requirements set forth in the LUC, a Modification of Standard Request will need to be submitted with your formal development proposal. Please see Section 2.8.2 of the LUC for more information on criteria to apply for a Modification of Standard.
8. Please see the Submittal Requirements and Checklist at: <http://www.fcgov.com/developmentreview/applications.php>.

- 9.** The request will be subject to the Development Review Fee Schedule that is available in the Community Development and Neighborhood Services office. The fees are due at the time of submittal of the required documents for the appropriate development review process by City staff and affected outside reviewing agencies. Also, the required Transportation Development Review Fee must be paid at time of submittal.
- 10.** When you are ready to submit your formal plans, please make an appointment with Community Development and Neighborhood Services at (970)221-6750.



## **Pre-Submittal Meetings for Building Permits**

Pre-Submittal meetings are offered to assist the designer/builder by assuring, early on in the design, that the new commercial or multi-family projects are on track to complying with all of the adopted City codes and Standards listed below. The proposed project should be in the early to mid-design stage for this meeting to be effective and is typically scheduled after the Current Planning conceptual review meeting.

Applicants of new commercial or multi-family projects are advised to call 970-416-2341 to schedule a pre-submittal meeting. Applicants should be prepared to present site plans, floor plans, and elevations and be able to discuss code issues of occupancy, square footage and type of construction being proposed.

### **Construction shall comply with the following adopted codes as amended:**

*2012 International Building Code (IBC)*  
*2012 International Residential Code (IRC)*  
*2012 International Energy Conservation Code (IECC)*  
*2012 International Mechanical Code (IMC)*  
*2012 International Fuel Gas Code (IFGC)*  
*2012 International Plumbing Code (IPC) as amended by the State of Colorado*  
*2014 National Electrical Code (NEC) as amended by the State of Colorado*

Accessibility: State Law CRS 9-5 & ICC/ANSI A117.1-2009.

Snow Load Live Load: 30 PSF / Ground Snow Load 30 PSF.

Frost Depth: 30 inches.

Wind Load: 100- MPH 3 Second Gust Exposure B.

Seismic Design: Category B.

Climate Zone: Zone 5.

#### Energy Code Use

1. Single Family; Duplex; Townhomes: *2012 IRC* Chapter 11 or *2012 IECC* Chapter 4.
2. Multi-family and Condominiums 3 stories max: *2012 IECC* Chapter 4 Residential Provisions.
3. Commercial and Multi-family 4 stories and taller: *2012 IECC* Chapter 4 Commercial Provisions.

Fort Collins Green Code Amendments effective starting 2/17/2014. A copy of these requirements can be obtained at the Building Office or contact the above phone number.

City of Fort Collins  
Building Services  
Plan Review  
970-416-2341